



CITY OF DELRAY BEACH

PARKS AND RECREATION DEPARTMENT NW 1ST AVE, DELRAY BEACH, FLORIDA 33444 PHONE: (561) 243-7250



CITY OF DELRAY BEACH

COMMUNITY REDEVELOPMENT AGENCY 0 NORTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 PHONE: (561) 276-8640

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

CITY PROJECT NO. 16-102

SCHEMATIC DESIGN SET



CITY OFFICIALS

MAYOR	SHELI
VICE MAYOR	SHIRL
DEPUTY VICE MAYOR	BILL E
COMMISSIONER	RYAN
COMMISSIONER	ADAM
INTERIM CITY MANAGER	NEAL
CITY ENGINEER	PATR

CRA OFFICIALS

CHAIR	SHELI
VICE CHAIR	SHIRL
DEPUTY VICE CHAIR	ANGIE
TREASURER	BILL B
BOARD MEMBER	RYAN
BOARD MEMBER	PAME
BOARD MEMBER	ADAM
EXECUTIVE DIRECTOR	RENE

NOT FOR CONSTRUCTION

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

COVER

SCHEMATIC DESIGN FINAL

DESCRIPTION

BY

07-29-2019

DATE

LLY PETROLIA RLEY JOHNSON . BATHURST N BOYLSTON M FRANKEL _ DE JESUS RICK FIGURELLA, P.E.

LLY PETROLIA LEY JOHNSON IE GRAY BATHURST N BOYLSTON IELA BRINSON M FRANKEL EE JADUSINGH, ESQ

CITY PROJECT NO.

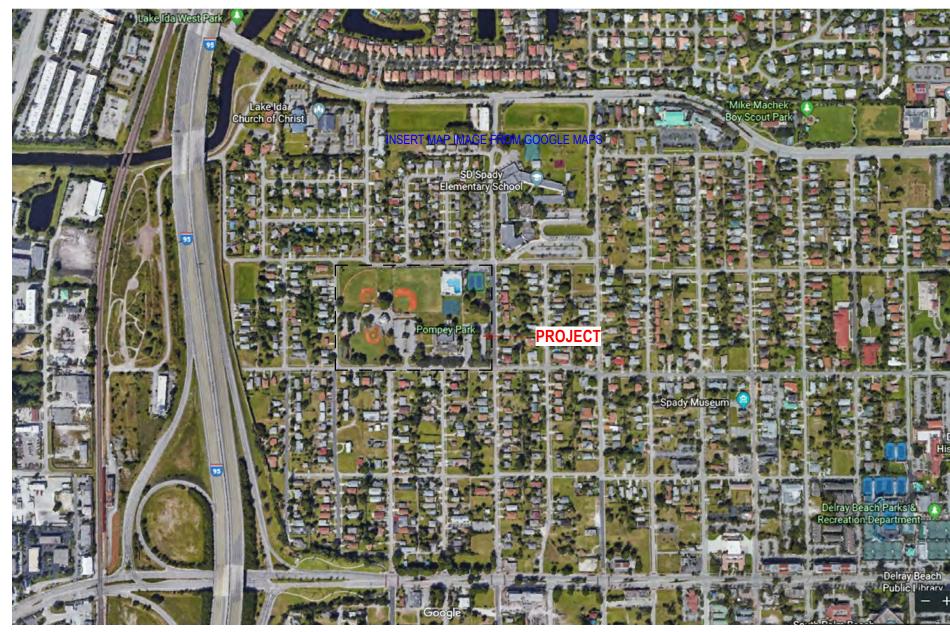
FILE ID.

16-102

DRAWING NO.

G-100

SITE LOCATION MAP



LEGAL DESCRIPTION THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NOTHERWEST QUARTER OF SECTION 17, TOWNSHIP 46 SOUTH, RANGE 43 EAST. LESS ROAD RIGHT-OF-WAY.

FEMA FLOOD MAP



FLOOD ZONE

FEMA FLOOD ZONE: FLOOD ZONE X BASE FLOOD ELEVATION (BFE): NA FOR ZONE X LOWEST FFE IN PROPOSED PROJECT: 12'-0" NAVD

WIND LOADS

RISK CATEGORY (FBC TABLE 1604.5): IV ULTIMATE DESIGN WIND SPEED: 186 MPH - WIND BORNE DEBRIS REGION

FLORIDA APPROVED EXTERIOR COMPONENTS & CLADDING PRODUCTS* LISTING

CATEGORY	SUB CATEGORY	MATERIAL	APPLICANT	DESCRIPTION	APPROVAL NUMBER
ROOFING	MODIFIED BITUMINOUS ROOF SYSTEMS	SBS	JOHNS MANVILLE	3FID-HW	FL17013
ROOFING	ROOF HATCH	STEEL	BILCO	SERIES NB	FL15110
EXTERIOR DOORS	SWINGING EXTERIOR DOOR ASSEMBLIES	STEEL	INGERSOLL-RAND	IR SERIES FLUSH OUTSWING	FL12400-R2
EXTERIOR DOORS	SECTIONAL EXTERIOR DOOR ASSEMBLIES	STEEL	OVERHEAD DOOR CO.	MODEL 416	FL11734.1
PANEL WALLS	STOREFRONT	ALUMINUM	ҮКК	AP YHS 50 FS	FL14218-R2
DOORS	STOREFRONT	ALUMINUM	ҮКК	35H	FL13321-R5

* BASIS-OF-DESIGN PRODUCTS: COMPARABLE PRODUCTS BY OTHER MANUFACTURERS MAY BE PROVIDED.



434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 FAX: (561) 243-7314 PHONE: (561) 243-7322



ABBREVIATIONS



FF&I

FHC

FT

FURN

FURR

GALV

GL-xx,

GWB

HCP

HDW

HORIZ

HSS

HVAC

INCL INFO

INTERM

ISA

LAV

LVR

MAINT

HR

GA

AIR CONDITIONING ACOUSTICAL	MAX MECH	MAXIMUM MECHANICAL
AREA DRAIN	MEP	MECHANICAL, ELECTRICAL, PLUMBI
AMERICANS WITH DISABILITIES ACT	MFR	MANUFACTURER
	MIN	
ADJUSTABLE ABOVE FINISH FLOOR	MISC MM	MISCELLANEOUS MILLIMETER
ALTERNATE	MTD	MOUNTED
ALUMINUM	MTL	METAL
APPROVED	MULL	MULLION
APPROXIMATE	N/A	NOT APPLICABLE
ARCHITECTURAL	NC NIC	NOISE CRITERIA
AUTOMATIC AUDIO VISUAL	NO	NOT IN CONTRACT NUMBER
BETWEEN	NOM	NOMINAL
BUILDING CONSTRUCTION AUTHORITY	NRC	NOISE REDUCTION COEFFICIENT
BUILDING	NTS	NOT TO SCALE
CEMENTITIOUS BACKER UNIT	00	ON CENTER
COLD FORM METAL FRAMING CONTROL JOINT / CONSTRUCTION JOINT	OH	OVER HEAD OPENING
CENTER LINE	OPNG OPP	OPPOSITE
CEILING	OPP HD	OPPOSITE HAND
CLEAR	PAV	PAVER
CONCRETE MASONRY UNIT	PERF	PERFORATED
COUNTER	PERIM	PERIMETER
CLEANOUT	PERP	PERPENDICULAR
COLUMN	PLAM	PLASTIC LAMINATE
CONCRETE	PLBG	PLUMBING
CONDITION	PR	
CONNECTION CONTINUOUS	PREFAB PT	PREFABRICATED PRESSURE TREATED
COORDINATE	PTD	PRESSORE TREATED
CORRIDOR	PTN	PARTITION
CENTER	PTxx	PAINT
DOUBLE	QC	QUALITY CONTROL
DEMOLITION	QTY	QUANTITY
DEPARTMENT	R	RADIUS
	RCP	REFLECTED CEILING PLAN
DRINKING FOUNTAIN DIAMETER	RD REC	ROOF DRAIN RECESSED
DIFFUSER	REF	REFERENCE
DIMENSION	REQ	REQUIRE / REQUIRED
DOWN	REV	REVISION / REVISED
DIMENSION POINT	RM	ROOM
DOOR	SCHED	SCHEDULE
DRAIN	SD	STORM DRAIN
DRAWING	SECT	SECTION
EACH EXPANSION JOINT	SF SHT	SQUARE FEET/FOOT SHEET
ELEVATION	SIM	SIMILAR
ELECTRICAL	SPEC	SPECIFICATION
ENCLOSURE	SPKR	SPEAKER
EQUAL	SPR	SPRINKLER
EQUIPMENT	SQ	SQUARE
EACH WAY	SS	STAINLESS STEEL
ELECTRICAL WATER COOLER	SSK	SERVICE SINK
EXISTING EXPANSION	STD STL	STANDARD STEEL
EXTERIOR	STOR	STORAGE
FACE OF (SEE OTHER WORD)	STRL	STRUCTURAL
FIRE ALARM	SUSP	SUSPENDED
FIRE ALARM CONTROL PANEL	SYMM	SYMMETRICAL
FLOOR DRAIN	TEL	TELEPHONE OR TELECOM
FIRE DEPARTMENT CONNECTION	THK	THICKNESS
FIRE EXTINGUISHER CABINET	THRU	THROUGH
	TV TYP	TELEVISION
FINISH FLOOR FURNITURE, FINISHES & EQUIPMENT	UL	TYPICAL UNDERWRITERS LABORATORY
FIRE HOSE CABINET	UNFIN	UNFINISHED
FINISH	U.N.O.	UNLESS NOTED OTHERWISE
FIXTURE	UON	UNLESS OTHERWISE NOTED
FLOOR	UR	
FRAME	VCT	VINYL COMPOSITION TILE
FEET FURNITURE/ FURNISHED	VERT VEST	VERTICAL VESTIBULE
FURNITURE/ FURNISHED FURRING	VEST	VESTIBULE VERIFY IN FIELD
GAUGE / GAGE	W	WIDE, WIDTH
GALVANIZED	Ŵ/	WITH
GENERAL CONTRACT/OR	W/O	WITHOUT
GLASS	WC	WATER CLOSET
GYPSUM WALLBOARD	WD	WOOD
HOSE BIBB	WDW	WINDOW
HANDICAPPED	WWF	WELDED WIRE FABRIC
	XTR	EXISTING TO REMAIN
HOLLOW METAL HORIZONTAL		
HANDICAPPED		
HOUR		
HOLLOW STRUCTURAL SECTION		
HEIGHT		
HEATING, VENTILATING, AIR CONDITIONING		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION INTERIOR		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION INTERIOR INTERMEDIATE		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION INTERIOR INTERMEDIATE INTNL SYMBOL OF ACCESSIBILITY		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION INTERIOR INTERMEDIATE INTNL SYMBOL OF ACCESSIBILITY LAVATORY		
HEATING, VENTILATING, AIR CONDITIONING HOT WATER INCH INCLUDED / INCLUDING INFORMATION INTERIOR INTERMEDIATE INTNL SYMBOL OF ACCESSIBILITY		

TAG LEGEND

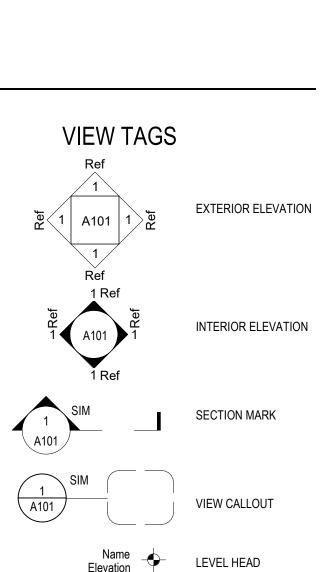
ELEMENT TAGS

Room name	ROOM TAG			
(1001X)	DOOR TAG			
1 i	WINDOW TAG			
ST-X	STOREFRONT TAG			
$\begin{pmatrix} \mathbf{X} 6 \\ \mathbf{X} 6 \end{pmatrix}$	WALL TAG			
XXX	SPECIALTY EQUIPMENT TAG			
<u>1t</u>	FLOOR TAG			
ANNOTATION TAGS				

ANNOTATIO	JN TAGS
ALIGNMENT TAG	ALIGN
KEYNOTE TAG	XX-XX

SPECIFIC NOTE TAG

XXX



SPOT ELEVATION MARK

1'-0"

A.F.F

GENERAL NOTES

ار		RALNOTES
	1.	EXISTING ITEMS AND CONDITIONS ARE DEPICTED AND DESCRIBED ON THESE DRAWI ACCORDING TO THE BEST AVAILABLE INFORMATION AND SURVEYS. THE ARCHITECT PROVIDES NO ASSURANCE AS TO, AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DEPICTIONS AND DESCRIPTIONS. FIELD VERIFY AND DETERMI BY ANY MEANS NECESSARY, THE ACTUAL LOCATION, CONFIGURATION AND CONDITION OF ALL PERTINENT ITEMS, INCLUDING THOSE THAT MAY BE IN CONCEALED LOCATION IF INVESTIGATION DISCOVERS THAT ACTUAL CONDITIONS DIFFER FROM WHAT IS DEPICTED OR DESCRIBED ON THESE DRAWINGS OR IF THE ITEMS AND CONDITIONS TARE TO REMAIN AS PART OF THE FINISHED WORK ARE UNSUITABLE TO SUPPORT OR ACCOMMODATE THE WORK REQUIRED FOR THIS PROJECT, OR DO NOT COMPLY WITI BUILDING CODE REQUIREMENTS OR MEET CONSTRUCTION INDUSTRY STANDARDS, IMMEDIATELY NOTIFY THE ARCHITECT BY RFI AND DO NOT PROCEED WITH THE WOR UNTIL RECEIPT OF SUPPLEMENTAL INSTRUCTIONS FROM THE ARCHITECT.
	2.	ESTABLISH AREAS AND LIMITS OF CONSTRUCTION ACTIVITY ACCEPTABLE TO THE OWNER AND PROVIDE THE TEMPORARY FACILITIES REQUIRED TO ACCOMPLISH THE WORK INCLUDING; FIELD OFFICE, TOILETS, ELECTRIC SERVICE, SITE ACCESS, PARKIN STORAGE AND CONSTRUCTION STAGING AREAS. PROVIDE TEMPORARY WALKWAYS DRIVEWAYS, BARRIERS, SIGNS AND ILLUMINATION TO SEPARATE AND PROTECT THE GENERAL PUBLIC FROM THE WORK RELATED ACTIVITIES. PROVIDE ACCESS ROUTES AND FROM AREAS OF CONSTRUCTION ACTIVITY FOR CONSTRUCTION PERSONNEL TH COMPLY WITH ALL OSHA AND OTHER GOVERNMENT SAFETY AND ACCESSIBILITY REQUIREMENTS. ASSUME FULL LIABILITY FOR ANY DAMAGE TO ADJACENT PROPERT DAMAGE TO PERSONAL PROPERTY, INJURY TO PERSONS, ETC. CAUSED BY WORK RELATED ACTIVITIES OR NEGLIGENCE.
	3.	PROVIDE TEMPORARY SHORING AS REQUIRED TO ADEQUATELY SUPPORT AND RETA EXISTING MATERIALS AND CONSTRUCTION AFFECTED BY THE WORK. PROTECT THOS ITEMS, MATERIALS & FINISHES TO REMAIN. REMOVE ONLY THOSE ITEMS AND MATER NECESSARY TO ACCOMMODATE THE WORK WITH CLEAN, UNIFORM CUTS. FILL AND PATCH REMAINING CONSTRUCTION AS REQUIRED WITH MATERIALS MATCHING THE ADJACENT MATERIALS IN KIND, STRENGTH, AND APPEARANCE SO AS TO FINISH UNIFORMLY WITHOUT TELEGRAPHING DIFFERENCES BETWEEN THE PATCHES AND TI ADJACENT CONSTRUCTION. REPAIR OR REPLACE ANY ITEMS, MATERIALS OR FINISHE DAMAGED BY THE WORK AT NO COST TO THE OWNER.
	4.	PROVIDE THE ITEMS, PRODUCTS AND FEATURES AS DEPICTED, DESCRIBED AND SPECIFIED ON THE DRAWINGS. IF DISCREPANCIES ARE DISCOVERED ON THE DRAWIN NOTIFY THE ARCHITECT BY RFI AND DO NOT PROCEED WITH WORK RELATED TO ITEM IN QUESTION UNTIL RECEIPT OF SUPPLEMENTAL INSTRUCTIONS FROM THE ARCHITE REQUESTS FOR SUBSTITUTIONS MAY BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION. DO NOT MAKE SUBSTITUTIONS WITHOUT THE APPROVAL OF THE ARCHITECT. WHERE A "BASIS-OF-DESIGN" PRODUCT IS SPECIFIED, A COMPARABLE PRODUCT MAY BE PROVIDED, SUBJECT TO COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
	5.	SUBMIT SHOP DRAWINGS, PRODUCT DATA AND SAMPLES TO THE ARCHITECT AND BO FOR REVIEW AS REQUIRED BY THE CONTRACT DOCUMENTS. DO NOT PROCEED WITH WORK RELATED TO SUBMITTALS MARKED "REJECTED" OR "REVISE AND RESUBMIT" B THE ARCHITECT OR THE ARCHITECT'S CONSULTANTS. SUBMITTALS MARKED "APPROVED", "NO EXCEPTION TAKEN" OR "MAKE CORRECTIONS NOTED" DO NOT SUPERSEDE THE NEED TO COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
	6.	DO NOT SCALE DRAWINGS. THE DIMENSIONS ON THE DRAWINGS GOVERN. WRITTEN NOTES REFERENCING AN ITEM OR FEATURE WITH THE WORD "TYPICAL" (TYP) APPLY ALL IDENTICAL ITEMS OR FEATURES INDICATED ELSEWHERE ON THESE DRAWINGS.
	7.	PROVIDE A FLORIDA PRODUCT APPROVAL ISSUED BY THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION OR A MIAMI-DADE NOTICE OF ACCEPTANCE (NOA) ISSUED BY THE MIAMI-DADE COUNTY GOVERNMENT FOR EACH EXTERIOR COMPONENT AND CLADDING ASSEMBLY CERTIFYING THAT APPROVED TESTING HAS SUFFICIENTLY DEMONSTRATED THAT THE ASSEMBLY AND IT'S COMPONENTS, AS DESIGNED AND MANUFACTURED, WILL WITHSTAND THE WIND LOADS AND WIND-BORI MISSILE IMPACTS IN COMPLIANCE WITH ALL CODE AND JURISDICTIONAL REQUIREME FOR THE PROJECT LOCATION WHEN INSTALLED ACCORDING TO THE MANUFACTUREI INSTRUCTIONS INCLUDING INSTRUCTIONS THAT MAY BE PROVIDED WITH THE FLORID PRODUCT APPROVAL OR NOA DOCUMENTS. PROVIDE THESE DOCUMENTS AS PART OF THE SUBMITTAL FOR EACH OF THESE ITEMS AND ASSEMBLIES FOR BCA APPROVAL.
	8.	PROVIDE ALL ITEMS AND FEATURES DEPICTED AND DESCRIBED ON THESE DRAWING AND OTHER CONTRACT DOCUMENTS SO THEY ARE PROPERLY PLACED, ALIGNED, PL SECURED, FINISHED AND FUNCTIONING AS INTENDED. PROVIDE FINISHED WORK THA MEETS OR EXCEEDS CURRENT INDUSTRY STANDARDS FOR QUALITY AND PERFORMANCE. ARRANGE AND CONDUCT INSPECTIONS OF THE FINISHED WORK WIT THE OWNER, THE ARCHITECT, AND THE AUTHORITY HAVING JURISDICTION. APPROVA OF THE WORK BY THESE OR ANY OTHER PARTY OR AGENCY DOES NOT SUPERSEDE NEED TO COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
	9.	REMOVE CONSTRUCTION DEBRIS, INCLUDING DEMOLISHED MATERIALS, FROM THE S AS REQUIRED TO PREVENT ACCUMULATION. TRANSPORT THESE MATERIALS OFF THI SITE IN A MANNER THAT WILL PREVENT SPILLAGE AND LEGALLY DISPOSE OF THESE MATERIALS AT AN EPA APPROVED DISPOSAL OR RECYCLING FACILITY.
	10.	KEEP COMPLETE AND LEGIBLE SETS OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC. TOGETHER AND READILY AVAILABLE IN AN APPROPRIATE LOCATION ON SITE.
	11.	PROVIDE ONLY 2"x6" NOMINAL MINIMUM PT WOOD BLOCKING USED IN CONCEALED SPACES. NO FIRE RETARDANT TREATED WOOD ALLOWED, UNLESS APPROVED BY BC
	12.	CONCEAL CONDUIT, PIPING, ETC. WITHOUT EXCEPTION. PROVIDE ACCESSIBLE JUNC BOXES, VALVES, CLEANOUTS, ETC., AS REQUIRED BY CODE.
	13.	WHERE POSSIBLE AND BEST PRACTICE, ALIGN THE SEAMS AND EDGES OF BREAK ME AND FLASHING WITH ADJACENT REVEALS, EDGES OF MATERIAL TRANSITIONS, OR WI BUILDING DESIGN FEATURES. CONSULT WITH ARCHITECT AS REQUIRED.
	14.	PER OWNER - CONTRACTOR AGREEMENT, PROJECT TO FOLLOW ALL OSHA STANDAR AND REQUIREMENTS. INCLUDE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIC (OSHA) EXCAVATION SAFETY STANDARD 29 C.P.R., SECTION 1926 630 SUBPART P, WH ARE INCORPORATED AS THE STATE STANDARD
	15.	ALL CONTRACTORS SHALL INCLUDE IN THEIR BID REFERENCE TO THE TRENCH SAFE STANDARD, WHERE RELEVANT, AND WRITTEN ASSURANCE THAT THE CONTRACTOR COMPLY WITH CHAPTER 553, PART V TRENCH SAFETY ACT, SECTIONS 553.60 THROUG 553.64, FLORIDA STATUTES. ALL TRENCH SAFETY SYSTEMS SHALL BE DESIGNED BY T CONTRACTOR.
	16.	NEW HOLES IN FLOOR SLAB DUE TO REMOVAL OF FLOOR OUTLETS, CONDUIT OR PIP SHALL BE FILLED FLUSH WITH FLOOR WITH 3000 PSI CONCRETE AND KEYED TO SLAB WITH STEEL DOWELS. BONDING AGENT SHALL BE APPLIED TO SIDES OF HOLE BEFOF PLACEMENT OF CONCRETE.
	17.	AT STOREFRONT GLASS OR ANY GLASS WALL, FURNISH AND INSTALL DIAGONAL BRACING ABOVE IN CONCEALED LOCATION (IF EXPOSED, CONFIRM LOCATION SIDE V ARCHITECT).
	18.	REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED IN WRITH WITHIN BID PROPOSAL FOR CONSTRUCTION TO THE ARCHITECT, AND WILL BE CONSIDERED ONLY IF THEY PROVIDE BETTER SERVICES, HAVE A MORE ADVANTAGE DELIVERY DATE, OR HAVE A LOWER PRICE PROVIDING A CREDIT TO THE TENANT AND WILL NOT SACRIFICE QUALITY, APPEARANCE OR FUNCTION. UNDER NO CIRCUMSTAN WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE SPECIFIED PRODUCT.
	10	

19. SHOP DRAWINGS/SUBMITTALS ARE REQUIRED FOR BUT NOT LIMITED TO THE FOLLOWING: MILLWORK, STRUCTURAL/MISCELLANEOUS STEEL, HARDWARE, WOOD AND METAL DOORS, AND EQUIPMENT. SHOP DRAWINGS SHOULD INCLUDE DETAILED FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, AND MATERIAL SCHEDULES. FABRICATION SHALL BEGIN ONLY AFTER ARCHITECT'S REVIEW AND APPROVAL OF SHOP DRAWINGS.

REVISION

FAX: (561) 276-8558

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CWannemacher Jensen Architects, Inc.

BED ON THESE DRAWINGS
EYS. THE ARCHITECT
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VERIFY AND DETERMINE,
RATION AND CONDITION
CONCEALED LOCATIONS.
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DO NOT COMPLY WITH
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D EDGES OF BREAK METAL L TRANSITIONS, OR WITH

OW ALL OSHA STANDARDS EALTH ADMINISTRATION 926 630 SUBPART P, WHICH

TO THE TRENCH SAFETY T THE CONTRACTOR WILL CTIONS 553.60 THROUGH HALL BE DESIGNED BY THE

LETS, CONDUIT OR PIPE E AND KEYED TO SLAB SIDES OF HOLE BEFORE

ISTALL DIAGONAL FIRM LOCATION SIDE WITH

E SUBMITTED IN WRITING T, AND WILL BE E A MORE ADVANTAGEOUS T TO THE TENANT AND IDER NO CIRCUMSTANCES

IFIED PRODUCT.

CITY OF DELRAY BEACH		SCHEMATIC DESIGN FINAL	07-29-2019	SD SET
POMPEY PARK REC CENTER				
1101 NW 2ND ST, DELRAY BEACH, FL 3				
DRAWING LEGEND AND BUILDI				
	BY	DESCRIPTION	DATE	REVISION









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APPLICABLE MINIMUM BOILDING CODES AND THE APPLICABLE MINIMUM BOILDING CODES AND ARD SA DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTERS 553 AND 633 OF THE FLORIDA STATUTES.



REVISION

SHEET #	SHEET NAME	100% SD	100% DD	75% CD
00 TITLE		1		
G-100	COVER	Х		
01 GENERAL	I			
G-101	DRAWING LEGEND AND BUILDING DATA	Х		
G-102	SHEET INDEX	X		
G-103	CODE ANALYSIS	X		
G-104	MOUNTING HEIGHTS	X		
02 SURVEY				
1 of 5	SURVEY	X		
2 of 5	SURVEY	X		
3 of 5	SURVEY	X		
4 of 5	SURVEY	X		
5 of 5	SURVEY	X		
03 LIFE SAFET		1	1	
B-101	LEVEL 1 - LIFE SAFETY PLAN	X		
B-102	LEVEL 2 - LIFE SAFETY PLAN	X		
04 CIVIL				
C-300	DEMO PLAN	Х		
C-500	GRADING PLAN	Х		
C-600	UTILITY PLAN	X		
05 LANDSCAPE				
L-000	PHASING PLAN	Х		
L-100	SITE PLAN	Х		
L-101	SITE ENLARGEMENT	X		
L-102	SITE ENLARGEMENT	X		
L-200	LANDSCAPE PLAN	Х		
07 ARCHITECT	JRAL			
A-001	LEVEL 0 - SITE PLAN	Х		
A-101	LEVEL 1 - FLOOR PLAN	Х		
A-102	LEVEL 2 - FLOOR PLAN	Х		
A-106	ROOF PLAN	Х		
A-201	LEVEL 1 - RCP	X		
A-202	LEVEL 2 - RCP	X		
A-301	EXTERIOR ELEVATIONS	X		
A-302	EXTERIOR ELEVATIONS - COLOR	X		
A-311	BUILDING SECTIONS	X		
A-410	ENLARGED FLOOR PLANS	X		
A-411	ENLARGED FLOOR PLANS	X		
A-901	3D VIEWS	X		
A-902	3D VIEWS	X		
A-903	3D VIEW			



SD SET	07-29-2019	SCHEMATIC DESIGN FINAL		CITY OF DELRAY BEACH
				POMPEY PARK REC CENTER
				1101 NW 2ND ST, DELRAY BEACH, FL 33444
				SHEET INDEX
REVISION	DATE	DESCRIPTION	BY	

				CODE ANAL	YSIS
SCOPE OF WOF				FIRE AND SMOKE PROTECTION FEATURES - (A) CH. 7	
CC FL NE	ONSTRUCTION. THE STRUCTURE IS OOR AND ROOF DECKS AND INTERI	W 2 STORY 50,800 G.S.F. ASSEMBLY BUIL COMPOSED OF LOADBEARING EXTERIOF OR LIGHT GAUGE METAL FRAMED WALLS RICAL, AV/IT, FIRE PROTECTION AND ALA F.E TO T.O. ROOF IS 37' -4".	R CMU WALLS, COMPOSITE S. THE PROJECT INCLUDES ALL	EXTERIOR WALLS - (A) CH. 705 PROJECTIONS: SHALL NOT EXTEND CLOSER TO FIRE-RESISTANCE RATINGS - (A) CH. 705.5: MAXIMUM AREA OF EXTERIOR WALL BASED ON FIRE SEPARA GREATER THAN 30' - NO LIMIT	NA
ABBREVIATION	S			VERTICAL SEPARATION OF OPENINGS (A) CH. 705.8.5:	NA
N/A N	IOT APPLICABLE AS PART OF THIS P	ROJECT		FIRE WALLS (A) CH. 706:	NA
AGP A	BOVE GRADE PLAN - STORY			FIRE BARRIERS (A) CH. 707, (G) 8.3:	SHAFTS AND INTERIOR STAIR WELLS
FDVA F	IRE DEPARTMENT VEHICLE ACCESS			FIRE PARTITIONS (A) CH. 708:	NA
	IRE SEPARATION DISTANCE			SMOKE BARRIERS (A) CH. 709, (G) 8.5:	NA
	UTHORITY HAVING JURISDICTION			SMOKE PARTITIONS (A) CH. 710, (G) 8.4:	NA
OL C	OCCUPANT LOAD			FLOOR AND ROOF ASSEMBLIES (A) CH. 711:	NA
APPLICABLE CO	ODES			VERTICAL OPENINGS (A) CH. 712, (G) 8.6: FIRE-RESISTANCE RATING OF SHAFTS (A) CH. 713, (G) 8.6.5:	1 HR
2017		DE - BUILDING, 6TH EDITION		ELEVATOR LOBBIES (A) CH. 30:	NA
2017		DE - EXISTING, 6TH EDITION		CONCEALED SPACES (A) CH. 718:	NA
2017	(C) FLORIDA BUILDING COL	DE - ACCESSIBILITY, 6TH EDITION			
2017	(D) FLORIDA BUILDING COL	DE - PLUMBING, 6TH EDITION			
2017	(E) FLORIDA BUILDING COL	DE - ENERGY, 6TH EDITION			
2017		TION CODE, 6TH EDITION			
2017		TION CODE - LIFE SAFETY, 6TH EDITION			
2017		DE - MECHANICAL, 6TH EDITION			
2014 2017	(J) NATIONAL ELECTRICAL (K) FLORIDA BUILDING COL	DE - FUEL GAS, 6TH EDITION		FIRE AREAS (A) CH. 707.3.10: NA	
2011					
				INTERIOR FINISHES - (A) CH. 8; (G) CH. 12.3.3	
				INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCC	CUPANCY (TABLE 803.11)
THRESHOLD BL	JILDING - (A) CH. 202			OCCUPANCY EXITING ELEMENTS	CORRIDORS ROOM & ENCLOSED SPACES
YES				A-3 A	B B > 300; C < 300
	LDING - (A) CH. 403				
	IPANCY CLASSIFICATION - (A) CH. 3; CUPANCY: A-3/ B NON-SEPARATED			FIRE PROTECTION SYSTEMS - (A) CH. 9 ; (G) 12 AUTOMATIC SPRINKLER SYSTEMS (A) CH. 903	
ACCESSORY		FIRE SEPARATION - (A) TABLE S	508 4 (F) TABLE 6 1 14 4 1	903.2.1.3 AUTOMATIC SPRINKLER SYSTEMS (A) CH. 905	
B		N/A FOR NON-SEPARATED N		SPRINKLER SHALL BE INSTALLED THROUGHOU	
				PORTABLE FIRE EXTINGUISHERS - WHERE REQUIRED (A) 906	
				A-3 - CLASS A, ORDINARY HAZARD	
				KITCHEN - CLASS B, HIGH HAZARD	
				CLASS A, ORDINARY HAZARD FIRE EXTINGUISHER REQUIREM	IENTS
	LED REQUIREMENTS BASED ON USE			RATED: 2-A	
SECTION 454: S	WIMMING POOLS AND BATHING PLA	CES; SECTION 466: DAY CARE		MAX. FLOOR AREA PER UNIT OF A = 1,500 SF	
				MAX. FLOOR AREA FOR EXTINGUISHER = 11,25	50 SF
	STRUCTION - (A) CH. 6	RATING FOR BUILDING ELEMENTS (TABL	.E 601) TYPE 2-B	MAX. TRAVEL DISTANCE = 75 FT FIRE ALARM AND DETECTION SYSTEMS - WHERE REQUIRED ((1) 007 2
A-3	2-B PRIMARY STRUCTU	· · ·	0	A-3 - OL> 1000	(h) 501.2
	BEARING WALLS E		0	INSTALLED PER IBC AND NFPA 72	
	BEARING WALLS IN	ITERIOR	0		
	NONBEARING WAL	LS AND PARTITIONS EXTERIOR	SEE TABLE 602	MEANS OF EGRESS - (A) CH. 10; (G) TABLE 7.3.1.2	
	NONBEARING WAL	LS AND PARTITIONS INTERIOR	0	OCCUPANT LOAD (A) TABLE 1004.1.2:	
	FLOOR CONSTRUC	CTION AND SECONDARY MEMBERS	0	SEE LIFE SAFETY SHEET B-101 AND B-102 FOR FLOOR PLAN S	SHOWING OCCUPANT LOADS FOR EACH ROOM
	ROOF CONSTRUCT	TION AND SECONDARY MEMBERS	0	MEANS OF EGRESS SIZING (A) CH. 1005: 0.3" x OL FOR STAIRS AND 0.2" x OL FOR OTHER EGRESS COM	MONIENTS SEE LIFE SAFETY SHEET B-101 AND B-102 FOR
				FLOOR PLAN SHOWING STAIRS AND EGRESS COMPONENTS	
FIRE-RESISTAN	ICE OF EXTERIOR WALLS - (A) TABLE	E 602			
10' <x>30'</x>	A-3 0			A-3 75' (WITH SPRINKLER SYSTEM) <	
10 < X > 30	U			A-3 75 (WITH SPRINKLER STSTEM) <	50 OCCUPANTS; IF >50 OCCUPANTS THEN 20'
	ECTION - (A) CH. 704.2 : NA			ACCESSIBLE MEANS OF EGRESS (A) CH. 1009 NEED (1) ACCESSIBLE MEANS OF EGRESS/SPA	CE MIN. OR (2) WHEN TWO EXITS ARE REQUIRED.
PRUIECTION O	F THE PRIMARY STRUCTURAL FRAM	IE OTHER THAN COLUMNS - (A) CH. 704.3	: NA		
באגבנוטם גיםו	UCTURAL MEMBERS - (A) CH. 704.10:	NA		EXIT TRAVEL DISTANCE (A) TABLE 1017.2 ; (G) 12.2.6	
				A-3 250' (WITH SPRINKLER SYSTEM)	
GENERAL BUILI	DING HEIGHTS AND AREAS - (A) CH. 5	5			
	EIGHT, STORIES, AND AREA :	2B, SPRINKLERED	EQUATION 5-3, 5-4	CORRIDOR FIRE-RESISTANCE RATING (A) TABLE 1018.1	
OCCUPANCY	HEIGHT (FT) (A) TABLE 504.3	STORY (A) TABLE 504.4	AREA (SF) (A) 506.2.3	A-3 OL > 30 = 0 HR. (WITH SPRINKLER	R SYSTEM)
A-3	75'	3	35,625		
ACTUAL HEIGH	T, STORIES AND AREA			MINIMUM CORRIDOR WIDTH (A) TABLE 1020.2	
OCCUPANCY	HEIGHT (FT)	STORY	AREA (SF)	ANY FACILITIES NOT LISTED BELOW - 44"	
A-3	37' 4"	2	30,780		



CITY of DELRAY BEACH PROGRAM AND PROJECT MANAGEMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 FAX: (561) 243-7314 PHONE: (561) 243-7322



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ORIDA 33444
FAX: (561) 276-8558

APPLICABLE FIRE SAFETY STANDARDS AS

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SD SET

REVISION

07-29-2019

DATE

DETERMINED BY THE LOCAL AUTHORITY IN OWANNEMACHER JENSEN Architects, Inc.

	RAVEL DISTANCE	(A) CH. 1020.4 ; (G) 12	2.2.5				
	A-3 20	0' (WITH SPRINKLER S	YSTEM)				
ACCESSIBIL							
	EQUIREMENTS (C)	CH. 2					
		ITE REQUIRED TO BE	ACCESSIBLE				
ACCESSIBLE	E ROUTE (C) CH. 2	06					
	206.2.1 SITE AR	RIVAL POINTS: 1 REQI	JIRED				
		CTED SPACES: ALL SP IBLE ROUTE	ACES ARE RE	QUIRED TO BE	EACCESSIBLE	AND CONNECT	ED BY AN
	E ENTRANCES (C)						
AUGEOUDEI		ENTRANCES: AT LEAS	T 60% OF ALL	PUBLIC ENTR	ANCES SHALL	BE ACCESSIBL	E
OTHER FEA	TURES AND FACIL	ITIES (C) CH. 213					
				NE TYPE OF EA	ACH FIXTURE, E	ELEMENT, CON ⁻	TROL OR
		ISPENSER SHALL BE					
		CLOSET COMPARTME BULATORY ACCESS W		MUST BE ACCE	ESSIBLE. IF WC	+ URINALS > 6,	PROVIDE
	213.3.4 LAVATO	RIES: AT LEAST 5%, B	UT NOT LESS	THAN ONE SH	ALL BE ACCES	SIBLE	
		AND KITCHENETTES: \$				0.022	
	NVIRONMENT (A) (CH. 12					
VENTILATIO	N (A) CH. 1203						
		TION REQUIRED: THE PACE VENTILATED	NET FREE VE	NTILATING AR	EA SHALL BE N	IOT LESS THAN	1/150 OF THE
	E	XCEPTION #1: 1/300 A	LLOWED WHE	N 50%-80% OF	VENTING ARE	A IS 3' ABOVE E	AVE VENT
		EXCEPTI	ON #2: 1/300 A	LLOWED WHE	N CLASS I OR	II VAPOR BARRI	ER PROVIDED
	SYSTEMS (A) CH. 2						
MINIMUM NU		RED PLUMBING FIXTUI	. ,		ORIES	DF	SERVICE SINK
OCC. TYPE	OCC. LOAD	M	W	M	W	DF	SERVICE SINK
A-3	M-713, W-713	713/125=6	713/65=11	713/200=4	713/200=4	1426/500=3	1
POOL	9,052 SURFACE	3 URINAL + 2 WC	8	3	3	-	
				_	-	•	1
	TOTAL REQ.	11(W/ MIN. 3 URINAL)	19	7	7	3	1
FLOOR DRA	PROVIDED	13 (INCL. 6 URINALS)		7 8	17	4	2
		13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003:			-		
	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003:			-		
	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003:			-		
INTERCEPT	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR LAUNDRY - NR	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE			-		
INTERCEPT(PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE			-		
INTERCEPT(THERMAL EI CLIMATE ZC	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR LAUNDRY - NR NVELOPE (E) TABL	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE	19	8	-		
INTERCEPT(THERMAL EI CLIMATE ZC	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR LAUNDRY - NR NVELOPE (E) TABL DNE (E) TABLE C30 ERMAL ENVELOPE ROOF: R-25ci	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E)	19	8	-		
INTERCEPT(THERMAL EI CLIMATE ZC	PROVIDED INS (D) CH. 412 - A ORS/SEPARATORS GREASE - APP OIL - NR LAUNDRY - NR NVELOPE (E) TABL ONE (E) TABLE C30 ERMAL ENVELOPE ROOF: R-25ci WALLS: R-5.7ci	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E)	19	8	-		
INTERCEPT(THERMAL EI CLIMATE ZC	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE 5 (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E)	19	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE 5 (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E)	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
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INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
INTERCEPT THERMAL EI CLIMATE ZO OPAQUE TH	PROVIDED	13 (INCL. 6 URINALS) PPLICABLE S (D) CH. 1003: PLICABLE E C402.1.3 1.1 E REQUIREMENTS (E) E FLOORS: NR VELOPE REQUIREMEN RATION: U-0.50 ESTRATION: U-0.65	19 TABLE C402.1	8	-		
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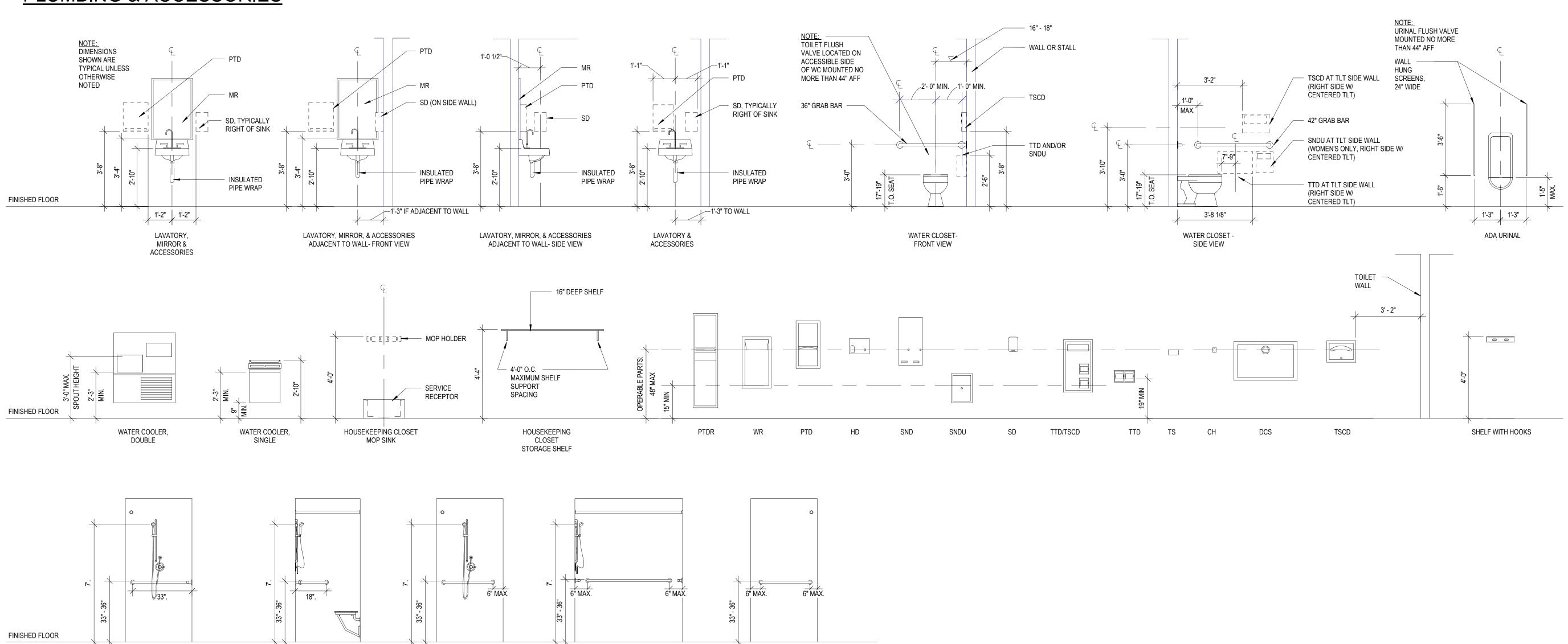
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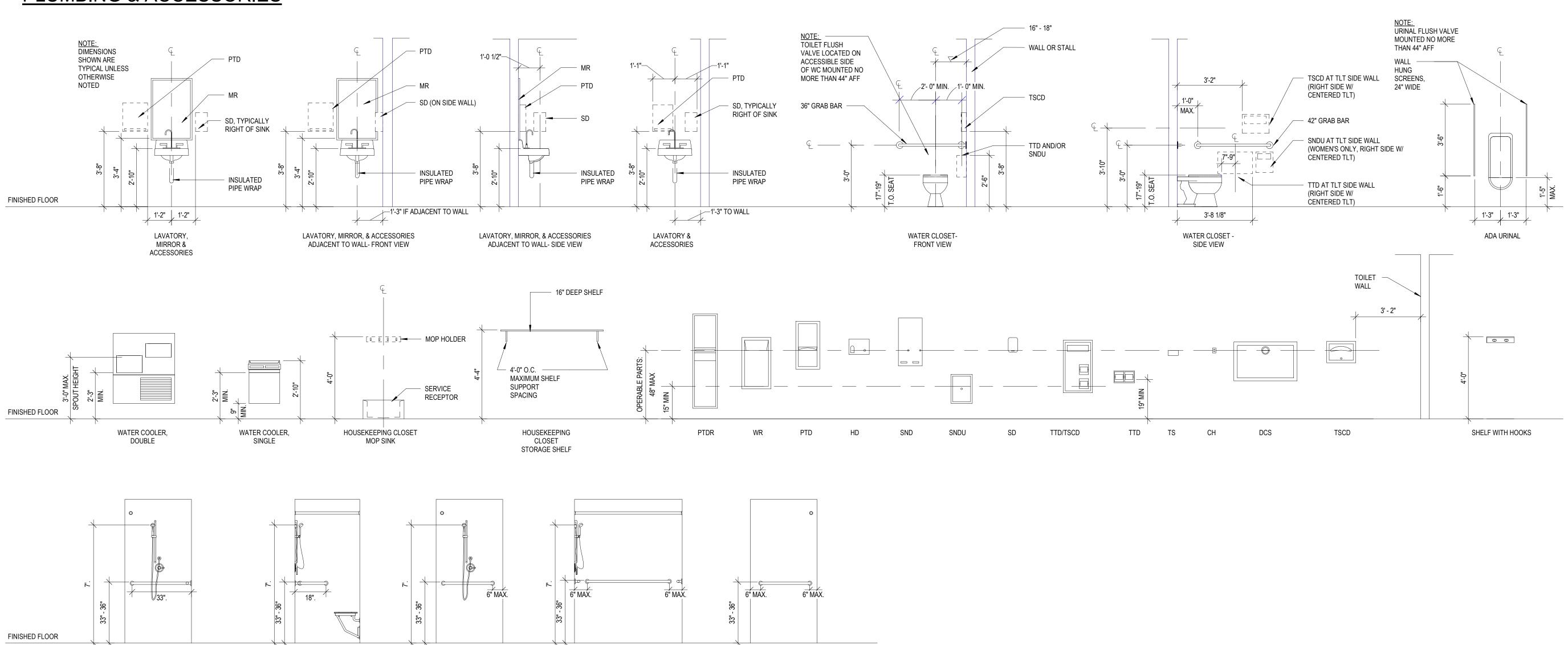
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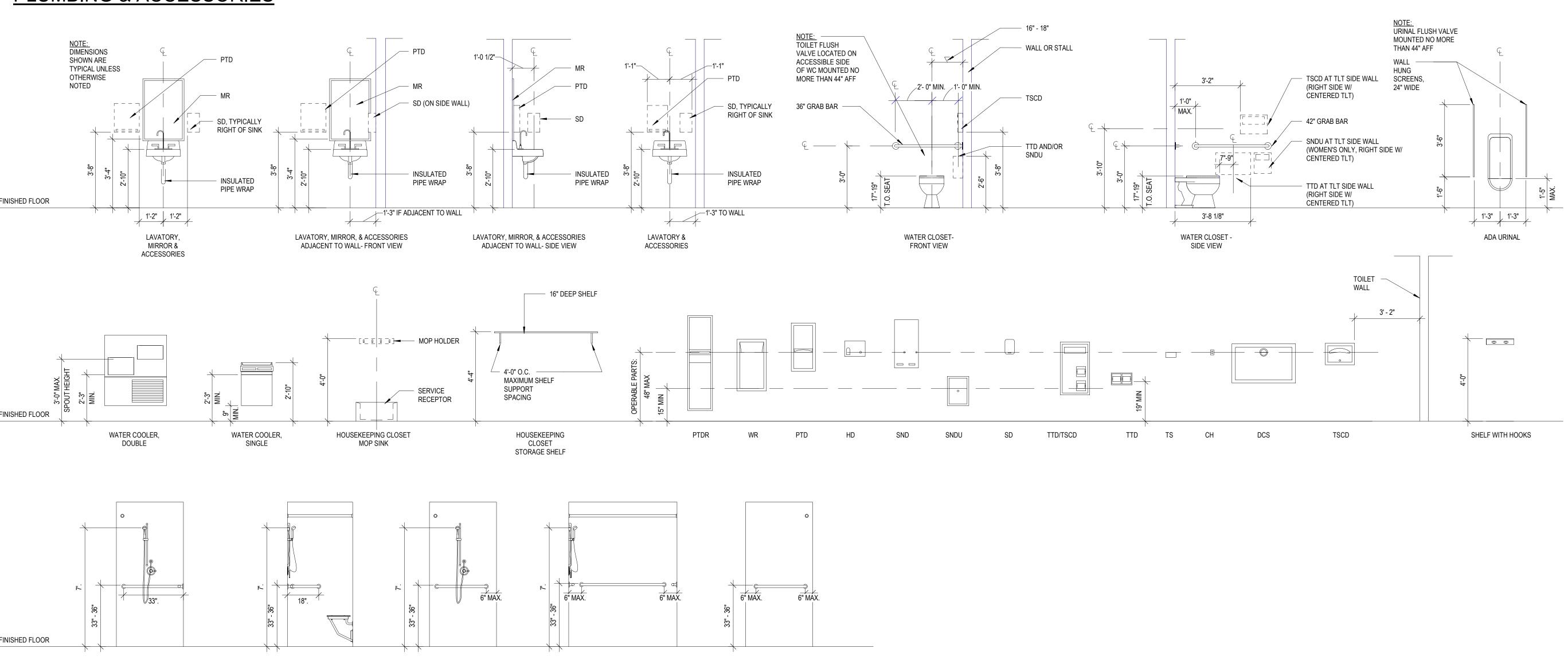
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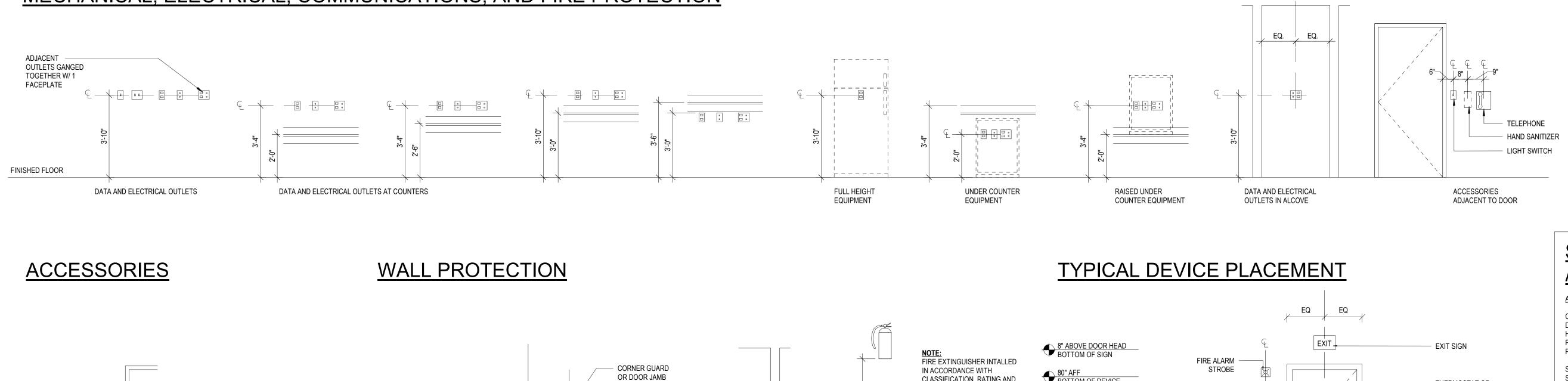
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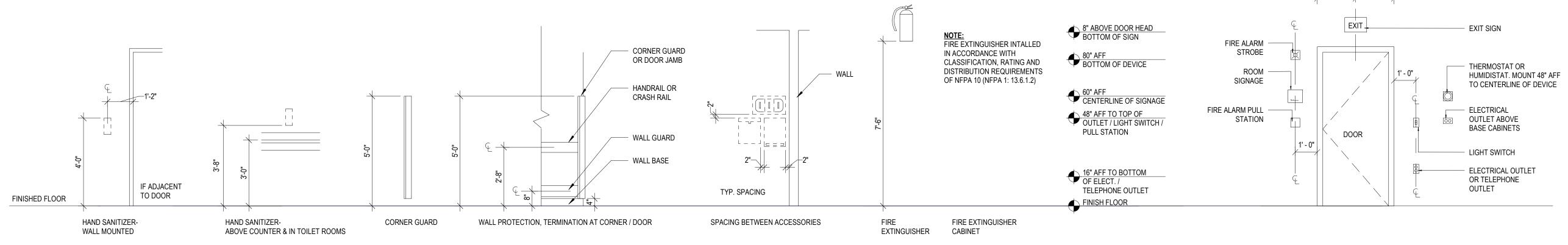


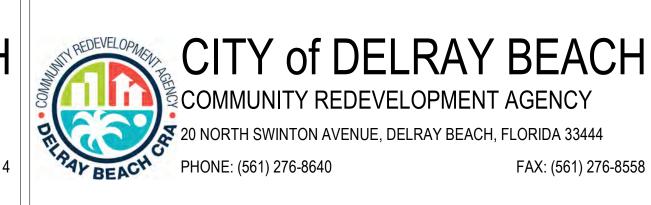


MECHANICAL, ELECTRICAL, COMMUNICATIONS, AND FIRE PROTECTION















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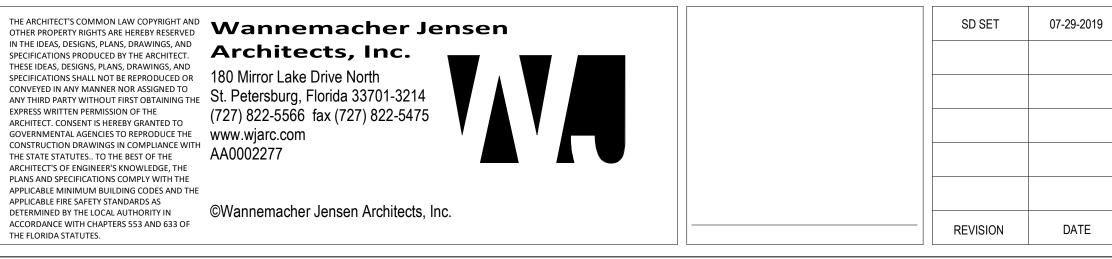
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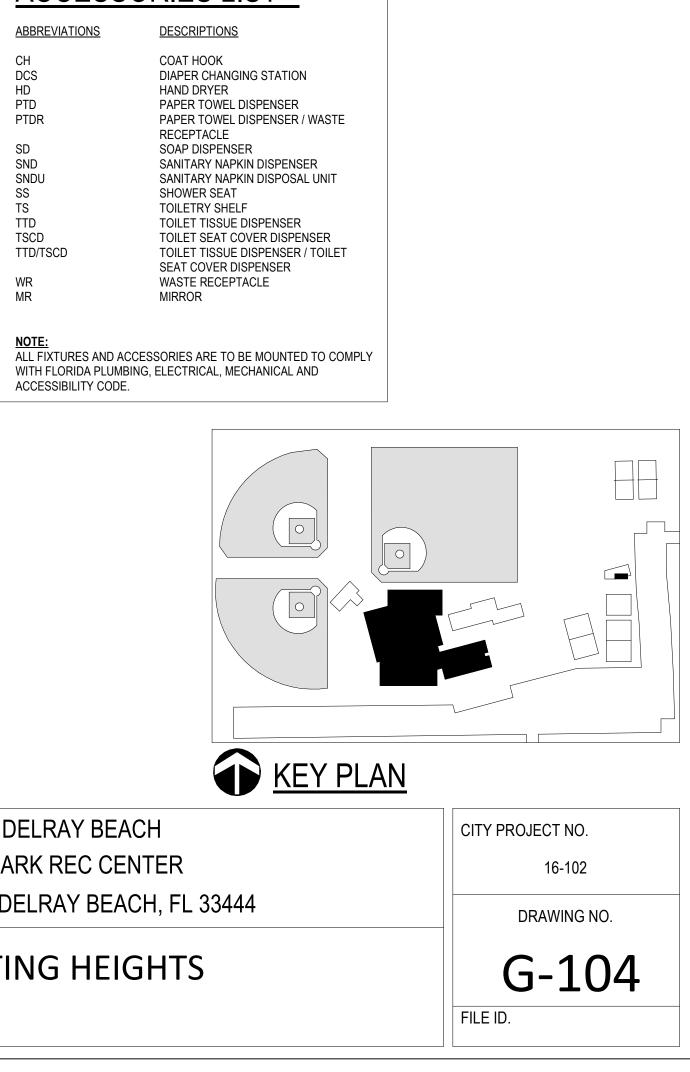
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<u>SANITAR</u> ACCESS	<u>Y</u> ORIES LIST
ABBREVIATIONS	DESCRIPTIONS
CH DCS HD PTD PTDR SD SND SNDU SS TS TS TTD TSCD TTD/TSCD WR MR	COAT HOOK DIAPER CHANGING STATI HAND DRYER PAPER TOWEL DISPENSE RECEPTACLE SOAP DISPENSER SANITARY NAPKIN DISPEN SANITARY NAPKIN DISPO SHOWER SEAT TOILETRY SHELF TOILET TISSUE DISPENSE TOILET SEAT COVER DISPENSE SEAT COVER DISPENSER WASTE RECEPTACLE MIRROR
	CESSORIES ARE TO BE MOUN



PRELIMINARY NOT FOR CONSTRUCTION

DESCRIPTION

SCHEMATIC DESIGN FINAL

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

MOUNTING HEIGHTS

BY

MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY OF: POMPEY PARK

POMPEY PARK

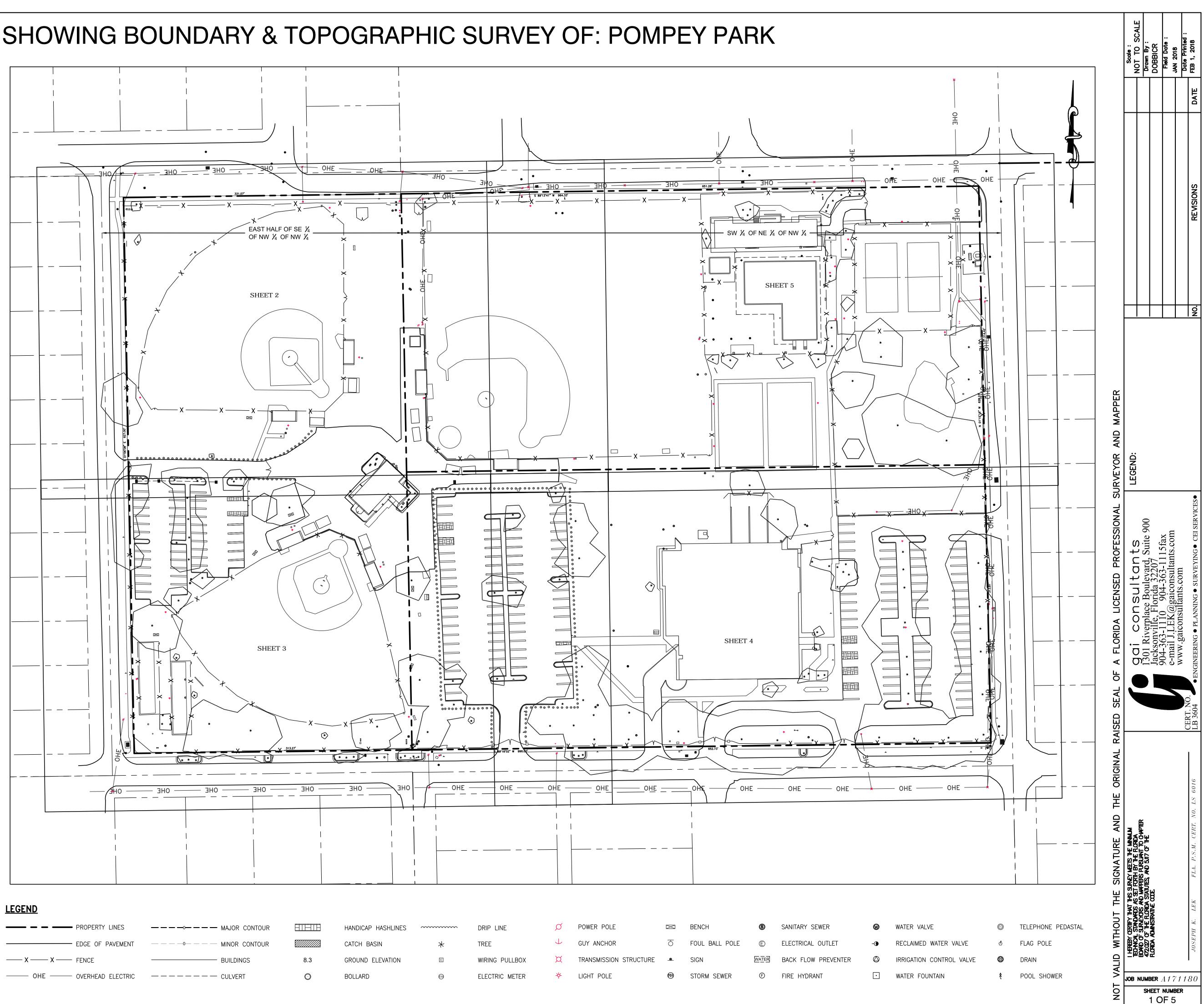
THE EAST HALF OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) AND THE SOUTHWEST QUARTER (SW $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 17, TOWNSHIP 46 SOUTH, RANGE 43 EAST. LESS ROAD RIGHT-OF-WAY.

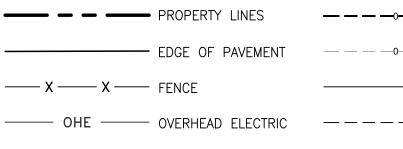
Ocean Ridge n Beach Briny Breezes Gulf Stream Dunes Roa PROJECT LOCATION Delray Beach Kings Point lighland Beach int Moore Rd s Walk Vamato Ko

VICINITY MAP

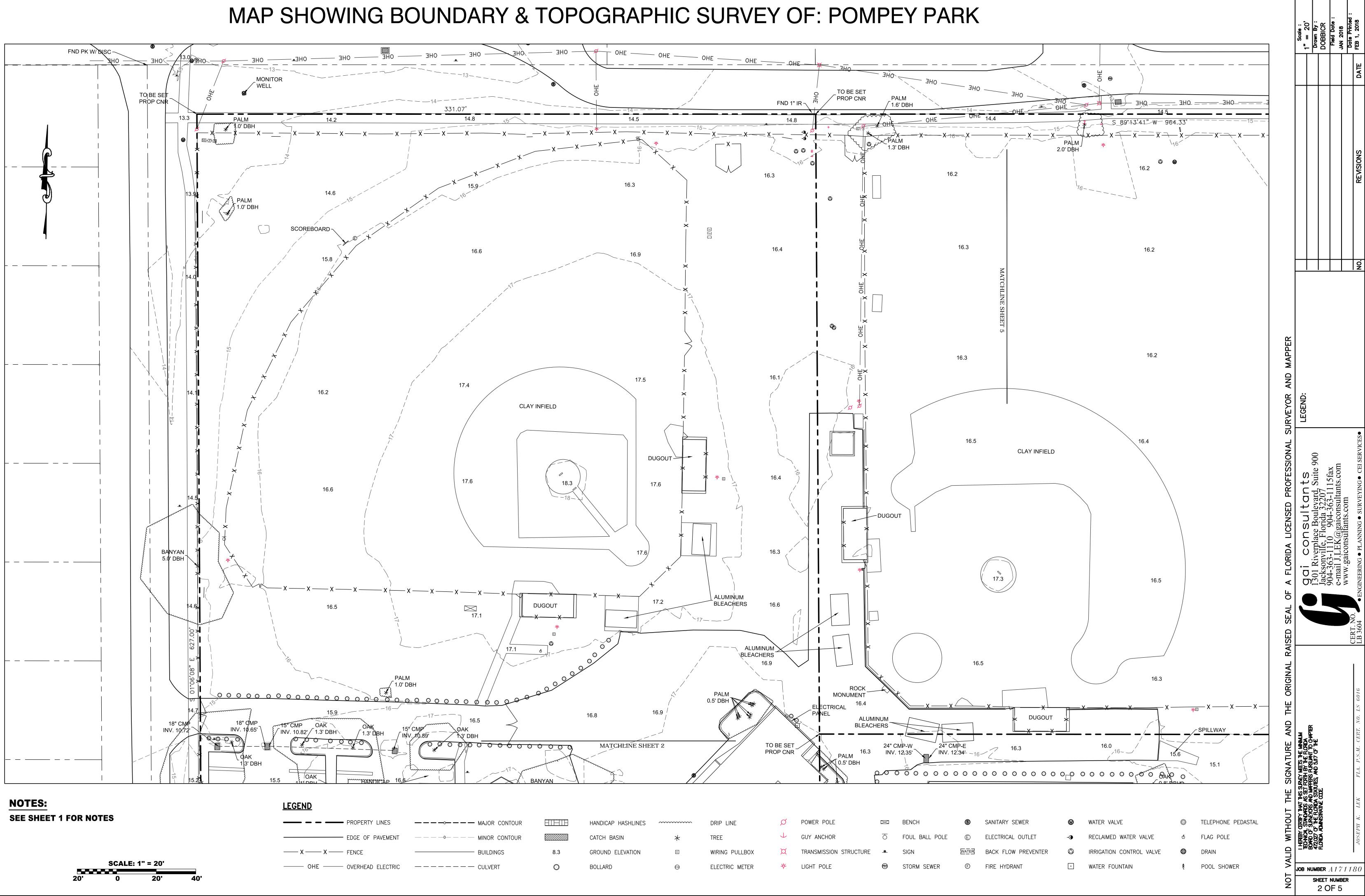
NOTES:

- **BEARINGS SHOWN HEREON BASED ON STATE PLANE** 1. COORDINATES EAST ZONE 901, WITH A BEARING OF S 89°20'52" W NORTHERLY RIGHT-OF-WAY LINE OF NW 2ND ST.
- **ELEVATIONS SHOWN HEREON BASED ON NORTH** 2. AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WITH THE ORIGINATING BENCHMARKS BEING Z 233 WITH AN ELEVATION OF 16.02 FEET & 14.33 WITH AN **ELEVATION OF 12.78 FEET.**
- ONLY ABOVE GROUND INIDCATORS TO 3. UNDERGROUND UTILITIES OR FOUNDATIONS LOCATED BY THIS SURVEY, ADDITIONAL UTILITIES OR FOUNDATIONS MAY EXIST AND NOT BE SHOWN HERON.

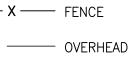




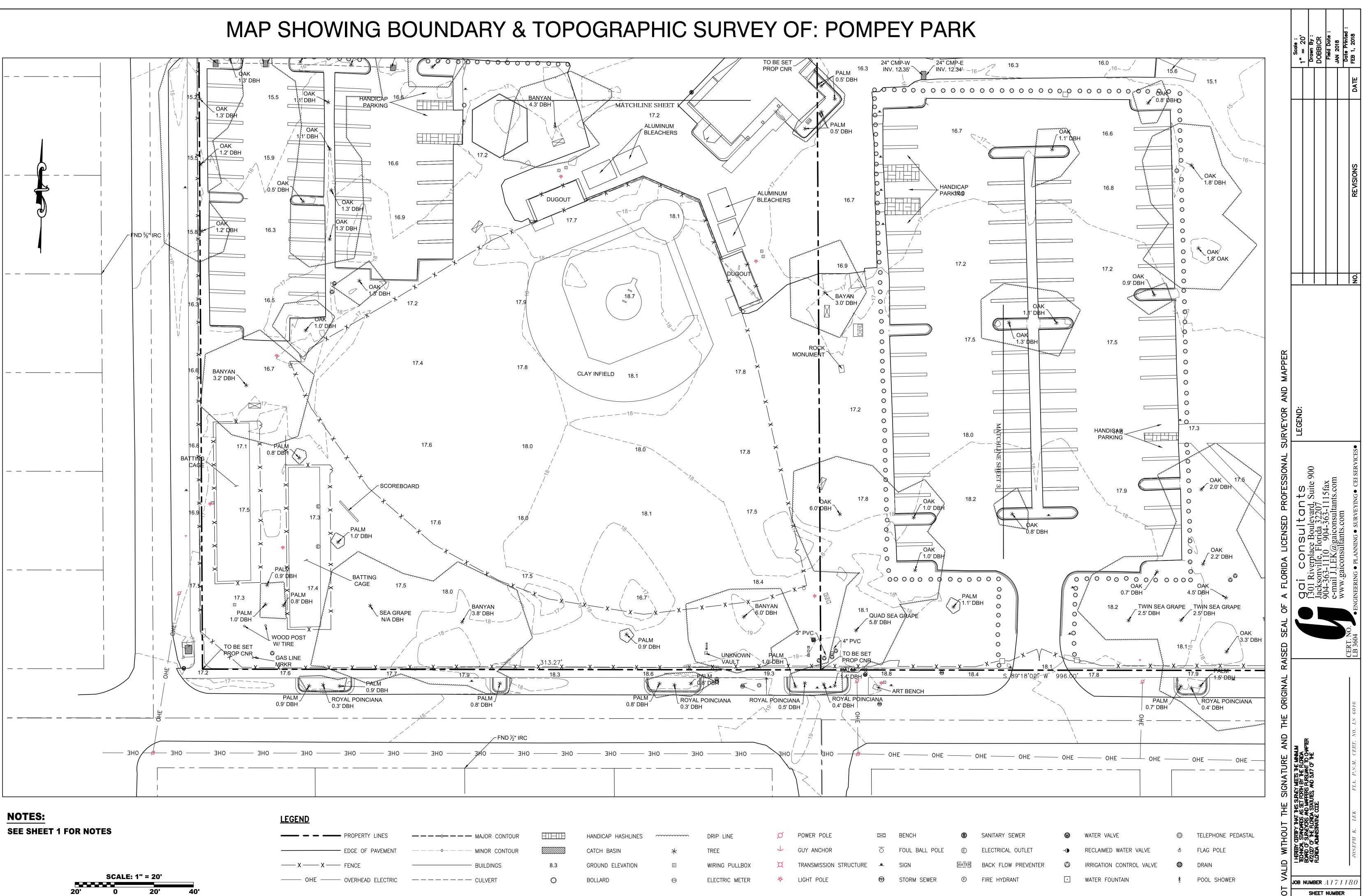
MAJOR CONTOUR		HANDICAP HASHLINES	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	DRIP LINE	Ø	POWER POLE	\boxtimes	BENCH
MINOR CONTOUR		CATCH BASIN	×	TREE	\downarrow	GUY ANCHOR	ਠ	FOUL BALL POLE
BUILDINGS	8.3	GROUND ELEVATION	E	WIRING PULLBOX	X	TRANSMISSION STRUCTURE	•	SIGN
— — — CULVERT	\odot	BOLLARD		ELECTRIC METER	\	LIGHT POLE	₪	STORM SEWER







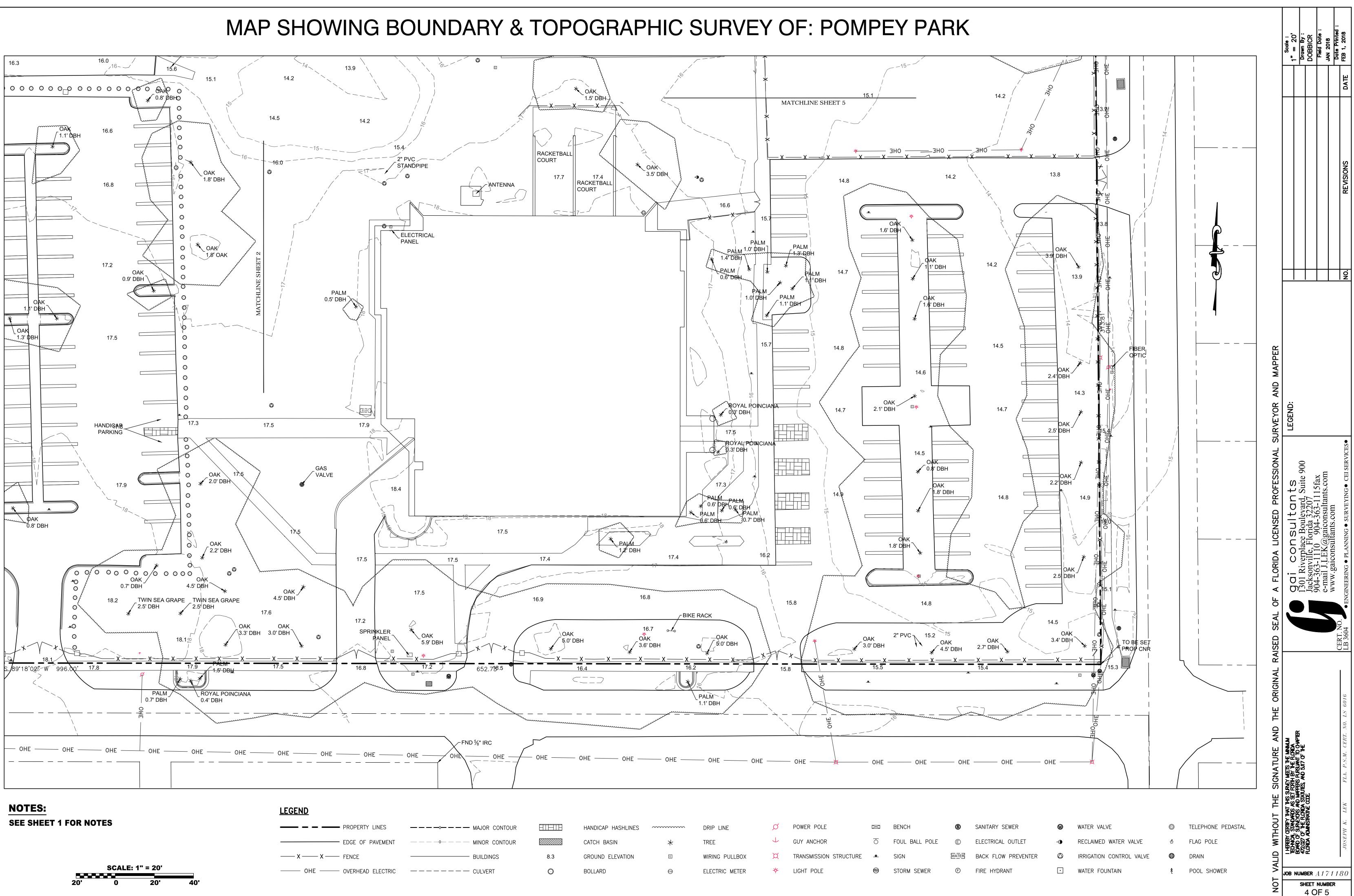
MAJOR CONTOUR		HANDICAP HASHLINES	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	DRIP LINE	Ø	POWER POLE	\boxtimes	BENCH
MINOR CONTOUR		CATCH BASIN	*	TREE	\downarrow	GUY ANCHOR	ਠ	FOUL BALL POLE
BUILDINGS	8.3	GROUND ELEVATION	E	WIRING PULLBOX	¤	TRANSMISSION STRUCTURE	•	SIGN
- — — CULVERT	\odot	BOLLARD		ELECTRIC METER	*	LIGHT POLE		STORM SEWER

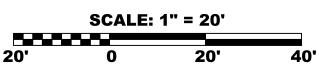


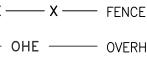


 - MAJOR CONTOUR		HANDICAP HASHLINES	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	DRIP LINE	Ø	POWER POLE	\boxtimes	BENCH
 - MINOR CONTOUR		CATCH BASIN	*	TREE	\downarrow	GUY ANCHOR	ਠ	FOUL BALL POLE
 - BUILDINGS	8.3	GROUND ELEVATION	E	WIRING PULLBOX	¤	TRANSMISSION STRUCTURE	•	SIGN
 - CULVERT	\odot	BOLLARD	Ð	ELECTRIC METER	\	LIGHT POLE	€	STORM SEWER

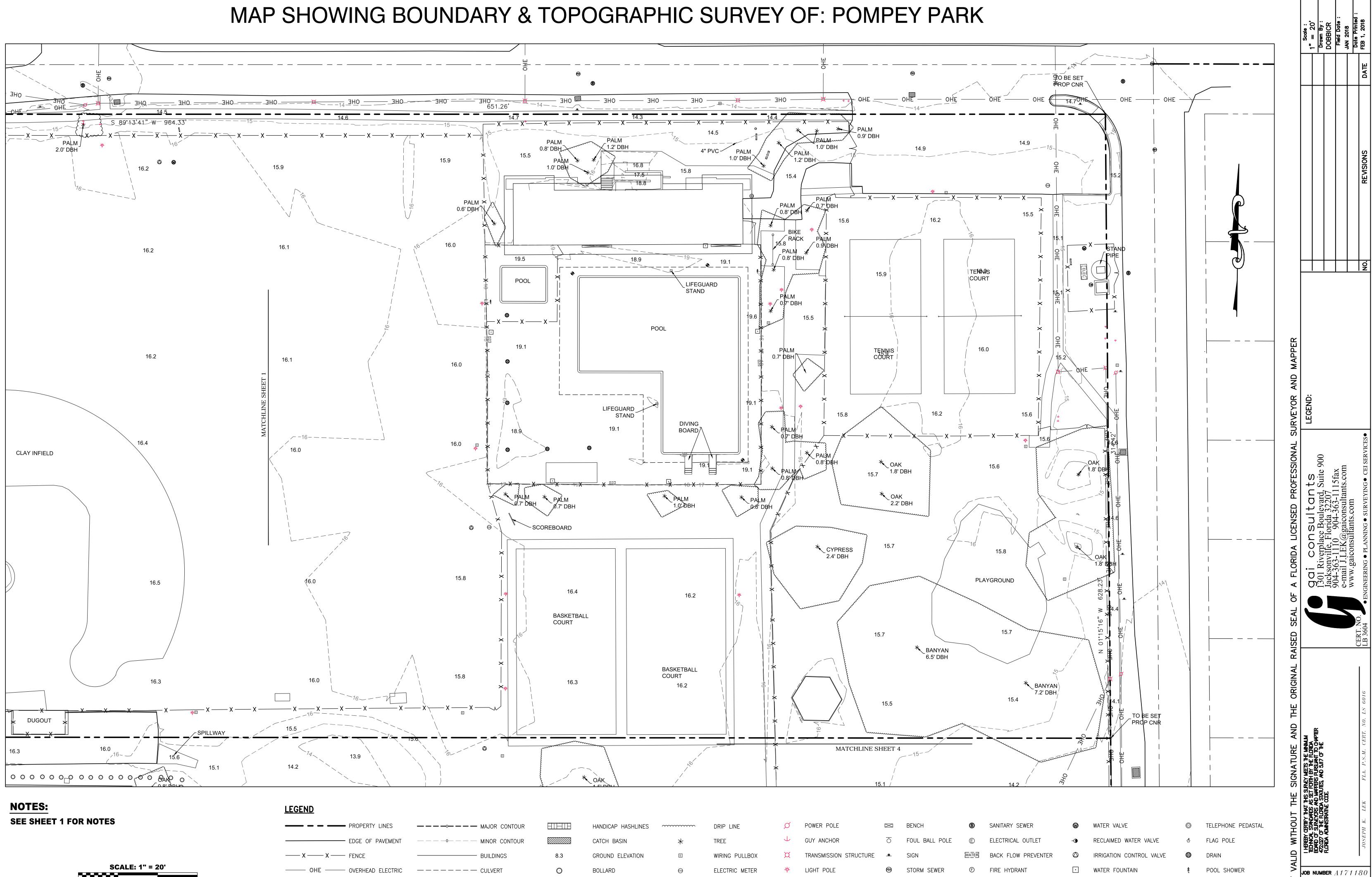
3 OF 5













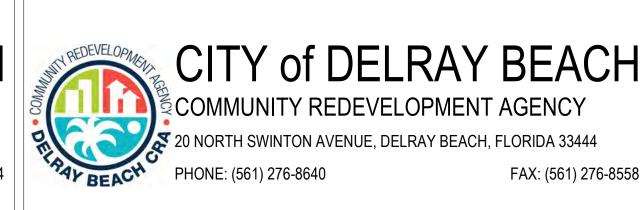
MAJOR CONTOUR		HANDICAP HASHLINES	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	DRIP LINE	Ø	POWER POLE	\bowtie	BENCH
MINOR CONTOUR		CATCH BASIN	*	TREE	\downarrow	GUY ANCHOR	ਠ	FOUL BALL POLE
BUILDINGS	8.3	GROUND ELEVATION	E	WIRING PULLBOX	¤	TRANSMISSION STRUCTURE	•	SIGN
- — — CULVERT	\odot	BOLLARD		ELECTRIC METER	*	LIGHT POLE	M	STORM SEWER

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GROUND FLOOR LIFE SAFETY PLAN 3/32" = 1'-0"

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EGRESS WIDTH - LEVEL 1

PER SECTION 1005, FBC, BUILDING OCCUPANT DOOR (INCHES PER LOAD OCCUPANT)

DOOR	
DOOR WIDTH REQUIRED (INCHES)	DOOR WIDTH PROVIDED (INCHES)
	-

OCCUPANCY COUNT - LEVEL 1

NUMBER	ROOM NAME	AREA	OCCUPANCY TYPE	USE	SQFT PER PERSON	OCCUPANT TOTAL
100	COMMONS	2473 SF	В	BUSINESS	100	25
100A	RECEPTION	241 SF	В	BUSINESS	100	3
101	DOUBLE GYM	14085 SF	A		50	282
101A	STORAGE	485 SF	S/M	ACCESSORY STORAGE	300	2
101B	SPORTS FIELD EQUIP.	1187 SF	S/M	ACCESSORY STORAGE	300	4
102	PLAYROOM	694 SF	A	ASSEMBLY UNCONCENTRATED	15	47
104A	MULTI-PURPOSE	307 SF	A	ASSEMBLY UNCONCENTRATED	15	21
104B	MULTI-PURPOSE	309 SF	A	ASSEMBLY UNCONCENTRATED	15	21
105	STORAGE	119 SF	S/M	ACCESSORY STORAGE	300	1
106	MECH. ROOM	206 SF	S/M	ACCESSORY MECHANICAL	300	1
107	WOMEN'S WC	278 SF				
108	WC	53 SF				
108A	JANITOR	49 SF				
109	WC	53 SF				
110	WC	47 SF				
111	WC	49 SF				
112	WC	50 SF				
113	MEN'S WC	232 SF				
114	POOL PUMP ROOM	780 SF	S/M	ACCESSORY EQUIPMENT ROOM	300	3
115	TEEN	742 SF	A	ASSEMBLY UNCONCENTRATED	15	50
115A	STORAGE	94 SF	S/M	ACCESSORY STORAGE	300	1
115B	OFFICE	122 SF	B	BUSINESS	100	2
116	ADMIN OFFICES	890 SF	В	BUSINESS	100	9
116A	OFFICE	122 SF	В	BUSINESS	100	2
116B	OFFICE	122 SF	В	BUSINESS	100	2
116C	OFFICE	122 SF	B	BUSINESS	100	2
116D	OFFICE	122 SF	B	BUSINESS	100	2
117		47 SF			0	
118	RECEPTION	211 SF	В	BUSINESS	100	3
110	KITCHENETTE	211 SF 266 SF	A	KITCHEN	100	3
120	AFTER SCHOOL CARE		A	DAYCARE	35	79
		2752 SF 261 SF	S/M	ACCESSORY STORAGE	300	13
120A 120B	STORAGE DATA	261 SF 115 SF	S/M	ACCESSORY STORAGE ACCESSORY EQUIPMENT ROOM	300	1
120B	WC	59 SF				
120D 120C	OFFICE	95 SF	В	BUSINESS	100	1
120C 120E	WOMEN'S WC	166 SF				
120E 120F	MEN'S WC	160 SF 169 SF				
	LIFE GUARD	309 SF	В	DUSINESS	100	1
121				BUSINESS		4
121A	STAFF LOCKER	95 SF	A	LOCKER ROOMS	50	2
122 125	POOL STORAGE CHILLER/ GENERATOR YARD	503 SF 1105 SF	S/M	ACCESSORY STORAGE	300	2
126	STORAGE	60 SF	S/M	ACCESSORY STORAGE	300	1
127	ELEC.	181 SF	S/M	ACCESSORY ELECTRICAL	300	1

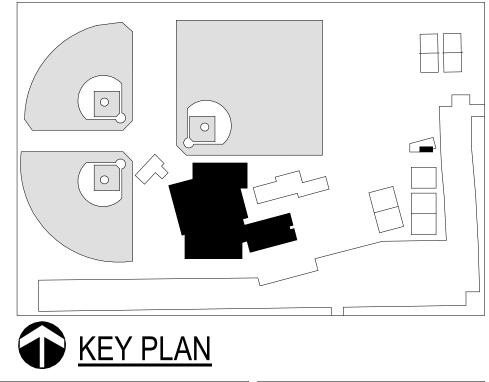
LIFE SAFETY GENERAL NOTES

1.	REFER CODE ANALYSIS SHEET G-103 FOR INTERIOR FINISH FLAME SPREAD RATING CLASSIFICATION.	9.
2.	VERIFY LOCATIONS FOR FIRE ALARM PULL STATIONS, FIRE ALARM ANNUNCIATOR PANEL, FIRE ALARM REMOTE CONTROL PANEL, EMERGENCY LIGHTING , STROBES AND AUDIBLE ALERTS.	10.
3.	INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 BY A LICENSED FIRE EQUIPMENT DEALER. INSPECT, TAG, AND MOUNT ALL FIRE EXTINGUISHERS. SEE LOCATION IN PLAN	
4.	ALL PANIC AND FIRE EXIT HARDWARE TO BE COMPLIANT WITH FBC SECTION 1008.1.10	11.
5.	ALL ACCESS-CONTROLLED EGRESS DOORS TO BE COMPLIANT WITH FBC SECTION 100.1.4.4	12.
6.	SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER LAYOUT	13.
7.	THRESHOLDS FOR ALL EXTERIOR DOORS CANNOT EXCEED 1/4" IN HEIGHT	
8.	FINAL EXIT SIGNS AND EMERGENCY LIGHTING LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE GOVERNING JURISDICTION. REFER SHEET G-104 FOR MOUNTING HEIGHTS U.N.O. BY FIRE MARSHAL, APPLICABLE SIGNAGE SHALL BE PROVIDED BY	14.
	CONTRACTOR AND COORDINATE WITH OTHER BUILDING SIGNAGE. REFER TO FBC SECTION 1013.4 FOR RAISED CHARACTER AND BRAILLE EXIT SIGNS REQUIREMENT	15.
<u>LIFE</u>	SAFETY PLAN LEGEND	
*COORD	INATE ITEMS W/ ELECTRICAL AS REQUIRED	
\bigotimes	ILLUMINATED (DIRECTIONAL) EXIT SIGN	-200
FACP	FIRE ALARM CONTROL PANEL	100

X-FEC	FIRE EXTINGUISHER (PREFIX INDICATES <u>S</u> EMI, <u>R</u> ECESSED, OR NONE FOR WALL MOUNTED)	
OL	OCCUPANCY LOAD SIGN. SEE DETAIL 2 THIS SHEET.	
(1001X)	DOOR TAG. SEE SCHEDULE SHEET Ax.x.	
<u>_!</u>	DOOR EXIT DEVICE (PANIC HARDWARE)	-(
S	SMOKE DETECTOR	
•S=S=S=	SMOKE PARTITION, 30 MINUTE FIRE RATING	K
	3HR RATED ASSEMBLY	ſ
	2HR RATED ASSEMBLY	
	1-HR FIRE SEPARATION	L

OCCUPANT LOAD KEY

NON ASSIGNABLE SQ FOOTAGE
ASSEMBLY
BUSINESS
STORAGE/ MECHANICAL



PRELIMINARY NOT FOR CONSTRUCTION

)7-29-2019	SCHEMATIC DESIGN FINAL	
DATE	DESCRIPTION	BY

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

LEVEL 1 - LIFE SAFETY PLAN

IF GOVERNING JURISDICTION RELOCATES ELEMENTS FROM ARCHITECTURAL SPECIFICATION, INFORM ARCHITECT, OWNER, AND AHJ PRIOR TO INSTALLATION. FIELD REVISED INFORMATION MUST BE INCLUDED IN "AS BUILT" DOCUMENTATION.

EMERGENCY FIXTURES SHALL BE TIED TO GENERATOR W/ TEST DOCUMENTATION PROVIDED TO ARCHITECT PRIOR TO SUBSTANTIAL COMPLETION.

FIRE DIVISIONS SHALL BE CONTINUOUS THROUGH ANY CONCEALED SPACE IN FLOOR OR ROOF CONSTRUCTIONS CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRED PIPE SPACES, COLUMN ENCLOSURES, ETC. SHALL BE FIRESTOPPED.

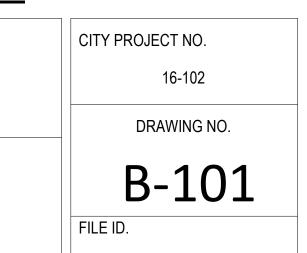
PATCH ALL FIREPROOFING DAMAGED DURING CONSTRUCTION. RESTORE INTEGRITY OF FIREPROOFING AS REQUIRED BY BUILDING AND FIRE CODES AS REQUIRED BY GOVERNING AUTHORITIES.

ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED AS REQUIRED BY BUILDING AND FIRE CODES AND AS BY GOVERNING AUTHORITIES. SEE FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR SPRINKLER LAYOUT.

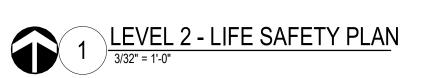
TOTAL EXIT ACCESS TRAVEL DISTANCE (FEET) -100- _____ TOTAL COMMON PATH OF TRAVEL (FEET) F MANUAL PULL STATION F SPEAKER / STROBE \bowtie STROBE HHORN KNOX KNOX BOX DRW DESIGNATED RESCUE WAITING AREA EGRESS DOOR or STAIR EXIT WIDTH (INCHES)

ROOM TAG

loc	om name	9
	101	ROOM NUMBER
	150 SF	ROOM AREA
В	XX	OCCUPANCY TYPE OCCUPANT COUNT

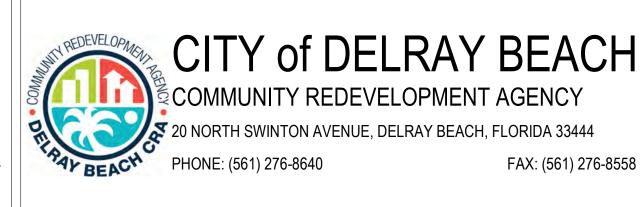








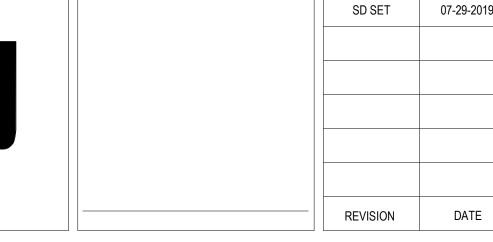
CITY of DELRAY BEACH PROGRAM AND PROJECT MANAGEMENT 434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 FAX: (561) 243-7314 PHONE: (561) 243-7322



EGR	ESS WIDT	H - LE	VEL 2						ETY GENERAL NOTES
	TION 1005, FBC, BUI								ETT GENERAL NOTES
OCCUPAN LOAD	NT DOOR (INCH		DOOR DOOR WIDTH DOOR WIDTH REQUIRED (INCHES) PROVIDED (INCHES)			AIRWAY WIDTH VIDED (INCHES)			CODE ANALYSIS SHEET G-103 FOR INTERIOR FINISH PREAD RATING CLASSIFICATION.
				170				ALARM A	LOCATIONS FOR FIRE ALARM PULL STATIONS, FIRE ANNUNCIATOR PANEL, FIRE ALARM REMOTE CONTROL EMERGENCY LIGHTING , STROBES AND AUDIBLE ALERTS.
EXIT ACC		FBC, BUILD	LEVEL 2 ING & SECTION 12.2.6, NFPA 101 DING & SECTION 12.2.5, NFPA 101					A LICEN	FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 BY SED FIRE EQUIPMENT DEALER. INSPECT, TAG, AND ALL FIRE EXTINGUISHERS. SEE LOCATION IN PLAN
EXIT ACC	ESS MAXIMUM EX		MAXIMUM COMMON PATH MAXIMUM CO		_	DEAD END LENGTH AXIMUM PROPOSED		4. ALL PAN	IC AND FIRE EXIT HARDWARE TO BE COMPLIANT WITH
								5. ALL ACC	ESS-CONTROLLED EGRESS DOORS TO BE COMPLIANT C SECTION 100.1.4.4
000	UPANCY (COUN	T-LEVEL 2						E PROTECTION DRAWINGS FOR SPRINKLER LAYOUT
NUMBER		AREA	OCCUPANCY TYPE	USE	SQFT PER PERSON	OCCUPANT TOTAL]		OLDS FOR ALL EXTERIOR DOORS CANNOT EXCEED 1/4"
	WOMEN'S WC	320 SF 2942 SF					_	8. FINAL EX	KIT SIGNS AND EMERGENCY LIGHTING LOCATIONS ARE
201	TRACK	3375 SF	A	EQUIPMENT	50	68	-	SUBJECT REFER S	T TO THE APPROVAL OF THE GOVERNING JURISDICTION. SHEET G-104 FOR MOUNTING HEIGHTS U.N.O. BY FIRE JL. APPLICABLE SIGNAGE SHALL BE PROVIDED BY
202	COVERED TERRACE	624 SF	A	ASSEMBLY UNCONCENTRATED	15	42		CONTRA	CTOR AND COORDINATE WITH OTHER BUILDING
	KITCHEN/ CONCESSION	426 SF	A	KITCHEN	100	4	_		E. REFER TO FBC SECTION 1013.4 FOR RAISED TER AND BRAILLE EXIT SIGNS REQUIREMENT
	MULTI-PURPOSE STORAGE	2907 SF 484 SF	A S/M	ASSEMBLY CONCENTRATED ACCESSORY STORAGE	7 300	415 2	_		
	MP GREEN	196 SF	A	ASSEMBLY	15	13	-	<u>LIFE SAF</u>	ETY PLAN LEGEND
	MULTI-PURPOSE SENIOR "C"	716 SF	A	UNCONCENTRATED ASSEMBLY UNCONCENTRATED	15	48	_		MS W/ ELECTRICAL AS REQUIRED
208B	MULTI-PURPOSE SENIOR "B"	713 SF	A	ASSEMBLY	15	48	-	\bigotimes	ILLUMINATED (DIRECTIONAL) EXIT SIGN
209	CONFERENCE	283 SF	A	UNCONCENTRATED ASSEMBLY UNCONCENTRATED	15	19	_	FACP	FIRE ALARM CONTROL PANEL
210	MULTI-PURPOSE SENIOR "A"	729 SF	A	ASSEMBLY UNCONCENTRATED	15	49	-	X-FEC	FIRE EXTINGUISHER (PREFIX INDICATES <u>S</u> EMI, <u>R</u> ECESSED, OR NONE FOR WALL MOUNTED)
	STORAGE	159 SF			300	1	-	OL	OCCUPANCY LOAD SIGN. SEE DETAIL 2 THIS SHEET.
210B 211	MECH. JANITOR	384 SF 173 SF	S/M S/M		300 300	1	_	(1001X)	DOOR TAG. SEE SCHEDULE SHEET Ax.x.
212	FITNESS	1453 SF	A		50	29	-	<u>_!</u>	DOOR EXIT DEVICE (PANIC HARDWARE)
	WC MEN'S WC	66 SF 319 SF						S	SMOKE DETECTOR
	DANCE/ AEROBICS	1588 SF		EXERCISE ROOM W/O EQUIPMENT	15	106		<u></u>	SMOKE PARTITION, 30 MINUTE FIRE RATING
	STORAGE DATA/ ELEC.	364 SF 228 SF	S/M S/M		300 300	1 1			3HR RATED ASSEMBLY 2HR RATED ASSEMBLY
	STORAGE	218 SF	S/M	ACCESSORY STORAGE	300	1	-		1-HR FIRE SEPARATION
217 Grand tota	STAFF LOUNGE I: 23	395 SF 19064 SF	В	BUSINESS	100	4 850			
								<u>OCCUPAI</u>	NT LOAD KEY
									NON ASSIGNABLE SQ FOOTAGE
									ASSEMBLY
			KITI	CHEN/			<u>I</u>		BUSINESS
			CONC	ESSION	lit li				STORAGE/ MECHANICAL
				205 26 SF 5					
	INKLERS TO BE G BOTH SIDES OF			TOP					CY COUNT - GYMNASIUM (PLUME
	PROVIDED 1-HR FI	RE					A HIP	NUMBER ROOM N	
-			54"	T AL	DEIL	Dalumandadi		101 DOUBLE GY	YM 14085 SF A
					3000000			Grand total: 1	14085 SF
			ALL		ADDILIL	DOLLESARDE			

<u>EGR</u>	<u>ESS WIDT</u>	<u>H - LE</u>	<u>VEL 2</u>					LIFE SAF	ETY GENERAL NOTES
PER SEC	TION 1005, FBC, BUI	LDING	DOOR		STAIRWAY				
OCCUPA LOAD			DOOR WIDTH DOOR WIDTH REQUIRED (INCHES) PROVIDED (INCHES		TAIRWAY WIDTH ST	AIRWAY WIDTH WIDED (INCHES)			CODE ANALYSIS SHEET G-103 FOR INTERIOR FINISH PREAD RATING CLASSIFICATION.
850				170)			ALARM A	LOCATIONS FOR FIRE ALARM PULL STATIONS, FIRE ANNUNCIATOR PANEL, FIRE ALARM REMOTE CONTROL EMERGENCY LIGHTING , STROBES AND AUDIBLE ALERTS.
EXIT ACC		FBC, BUILD	• LEVEL 2 DING & SECTION 12.2.6, NFPA 101 DING & SECTION 12.2.5, NFPA 101					A LICEN	FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 BY SED FIRE EQUIPMENT DEALER. INSPECT, TAG, AND ALL FIRE EXTINGUISHERS. SEE LOCATION IN PLAN
		(IT ACCESS PROPOSED	MAXIMUM COMMON PATH MAXIMUM CC ALLOWED (FEET) CC			DEAD END LENGTH AXIMUM PROPOSED			IC AND FIRE EXIT HARDWARE TO BE COMPLIANT WITH TION 1008.1.10
									ESS-CONTROLLED EGRESS DOORS TO BE COMPLIANT C SECTION 100.1.4.4
<u>000</u>	UPANCY (COUN	<u>T- LEVEL 2</u>						E PROTECTION DRAWINGS FOR SPRINKLER LAYOUT
NUMBER		AREA	OCCUPANCY TYPE	USE	SQFT PER PERSON	OCCUPANT TOTAL		7. THRESH IN HEIGH	OLDS FOR ALL EXTERIOR DOORS CANNOT EXCEED 1/4" IT
124 200	WOMEN'S WC CORRIDOR	320 SF 2942 SF					_	8. FINAL EX	KIT SIGNS AND EMERGENCY LIGHTING LOCATIONS ARE
201	TRACK	3375 SF	A	EXERCISE ROOM W/O EQUIPMENT	50	68		REFER S	T TO THE APPROVAL OF THE GOVERNING JURISDICTION. SHEET G-104 FOR MOUNTING HEIGHTS U.N.O. BY FIRE
202	COVERED TERRACE	624 SF	A	ASSEMBLY UNCONCENTRATED	15	42		CONTRA	L. APPLICABLE SIGNAGE SHALL BE PROVIDED BY CTOR AND COORDINATE WITH OTHER BUILDING
203	KITCHEN/ CONCESSION	426 SF	A	KITCHEN	100	4	_		E. REFER TO FBC SECTION 1013.4 FOR RAISED TER AND BRAILLE EXIT SIGNS REQUIREMENT
204	MULTI-PURPOSE	2907 SF	A	ASSEMBLY CONCENTRATED	7	415	_		
205 206	STORAGE MP GREEN	484 SF 196 SF	S/M	ACCESSORY STORAGE ASSEMBLY	300 15	2 13	_	LIFE SAF	ETY PLAN LEGEND
200 208A	MULTI-PURPOSE		A	ASSEMBLT UNCONCENTRATED ASSEMBLY	15	48	_		MS W/ ELECTRICAL AS REQUIRED
208B	SENIOR "C" MULTI-PURPOSE	713 SF	A	UNCONCENTRATED ASSEMBLY	15	48	_	\bigotimes	ILLUMINATED (DIRECTIONAL) EXIT SIGN
2008	SENIOR "B"	283 SF	A	UNCONCENTRATED ASSEMBLY	15	19	_	FACP	FIRE ALARM CONTROL PANEL
				UNCONCENTRATED			_		-
210	MULTI-PURPOSE SENIOR "A"	729 SF	A	ASSEMBLY UNCONCENTRATED	15	49		X-FEC	FIRE EXTINGUISHER (PREFIX INDICATES <u>S</u> EMI, <u>R</u> ECESSED, OR NONE FOR WALL MOUNTED)
210A 210B	STORAGE MECH.	159 SF 384 SF	S/M S/M	ACCESSORY STORAGE ACCESSORY MECHANICAL	300 300	1	_	OL	OCCUPANCY LOAD SIGN. SEE DETAIL 2 THIS SHEET.
2105	JANITOR	173 SF	S/M S/M	ACCESSORY EQUIPMENT	300	1	_	(1001X)	DOOR TAG. SEE SCHEDULE SHEET Ax.x.
212	FITNESS	1453 SF	A	ROOM EXERCISE ROOM W/	50	29	_		DOOR TAG. SEE SCHEDULE SHEET AX.X.
213	WC	66 SF		EQUIPMENT			_		DOOR EXIT DEVICE (FANIC HARDWARE)
215 216	MEN'S WC DANCE/	319 SF 1588 SF	A	EXERCISE ROOM W/O	15	106	_	(\mathbf{S})	SMOKE DETECTOR
216A	AEROBICS STORAGE	364 SF	S/M	EQUIPMENT ACCESSORY STORAGE	300	1	_	- S - S - S -	SMOKE PARTITION, 30 MINUTE FIRE RATING
216B	DATA/ ELEC.	228 SF	S/M	ACCESSORY EQUIPMENT ROOM	300	1	_		3HR RATED ASSEMBLY 2HR RATED ASSEMBLY
216C 217	STORAGE STAFF LOUNGE	218 SF 395 SF	S/M B	ACCESSORY STORAGE BUSINESS	300 100	1	_		1-HR FIRE SEPARATION
Grand tota		19064 SF			100	850			
								<u>OCCUPA</u>	NT LOAD KEY
									NON ASSIGNABLE SQ FOOTAGE
									ASSEMBLY
			VIT	CHEN/		. <i>n</i> Î			BUSINESS
			CONC	ESSION	D				
				203 26 SF 5					STORAGE/ MECHANICAL
OVIDED ALO	RINKLERS TO BE	DE			ANDADDA			OCCUPAN	<u> CY COUNT - GYMNASIUM (PLUM</u>
ASS WALL TO RRIER	PROVIDED 1-HR FI	KE						NUMBER ROOM N	IAME AREA OCCUPANCY TYPE
			54"		IL IL III IIII IIIIIIIIIIIIIIIIIIIIIII	ILIL THE AND ADDIN		101 DOUBLE G	
						DILL BARDILL		Grand total: 1	14085 SF
		W	315		ADILIL	DODDILL			

PRELIMINARY NOT FOR CONSTRUCTION





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EXPRESS WRITTEN PERMISSION OF THE

APPLICABLE FIRE SAFETY STANDARDS AS

THE FLORIDA STATUTES.

DETERMINED BY THE LOCAL AUTHORITY IN

ACCORDANCE WITH CHAPTERS 553 AND 633 OF

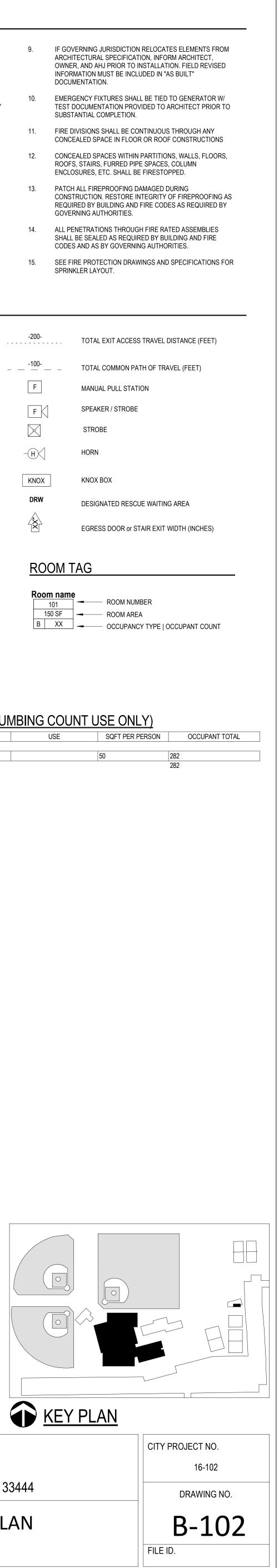
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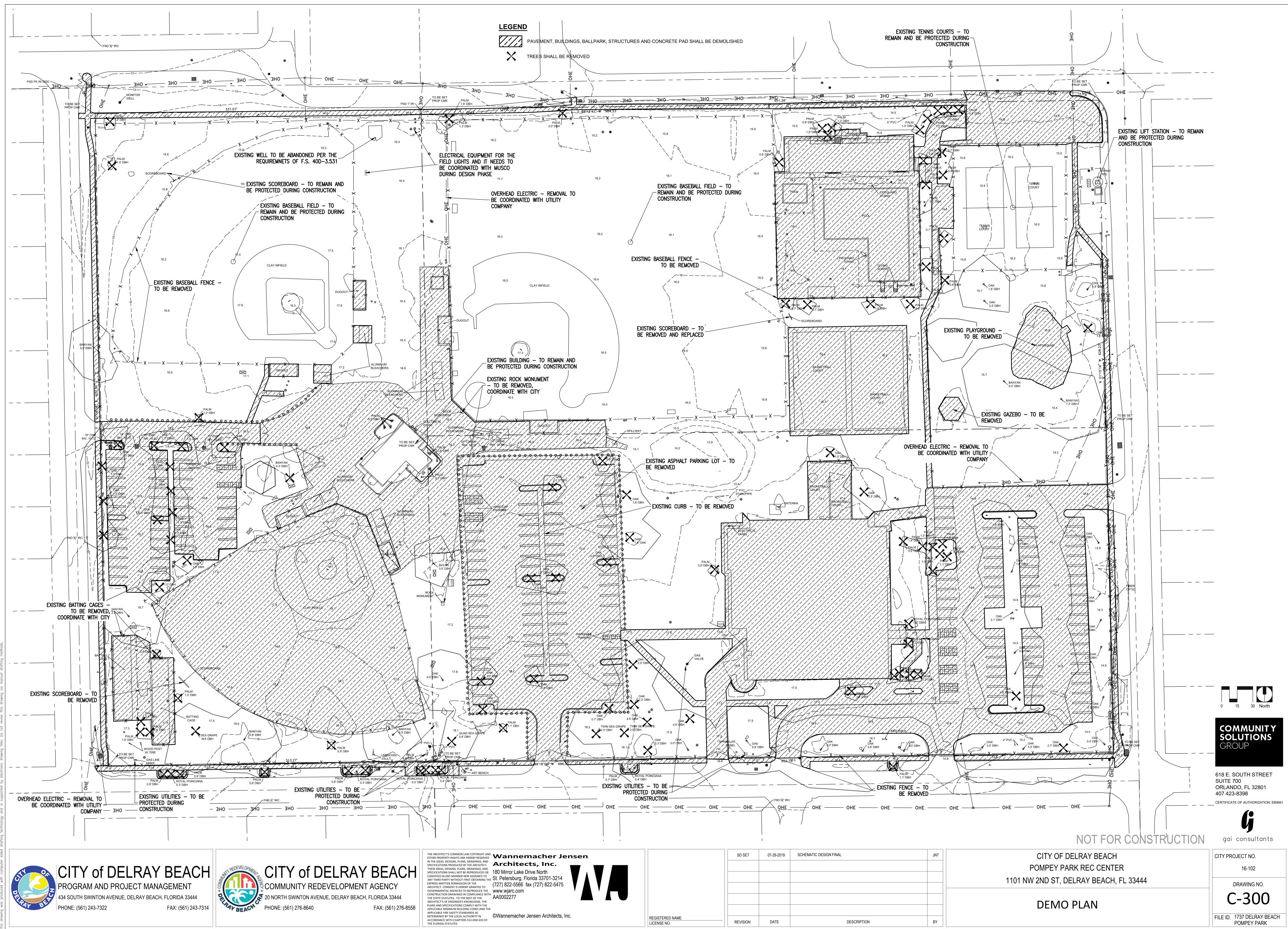
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)7-29-2019	SCHEMATIC DESIGN FINAL		
DATE	DESCRIPTION	BY	

POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

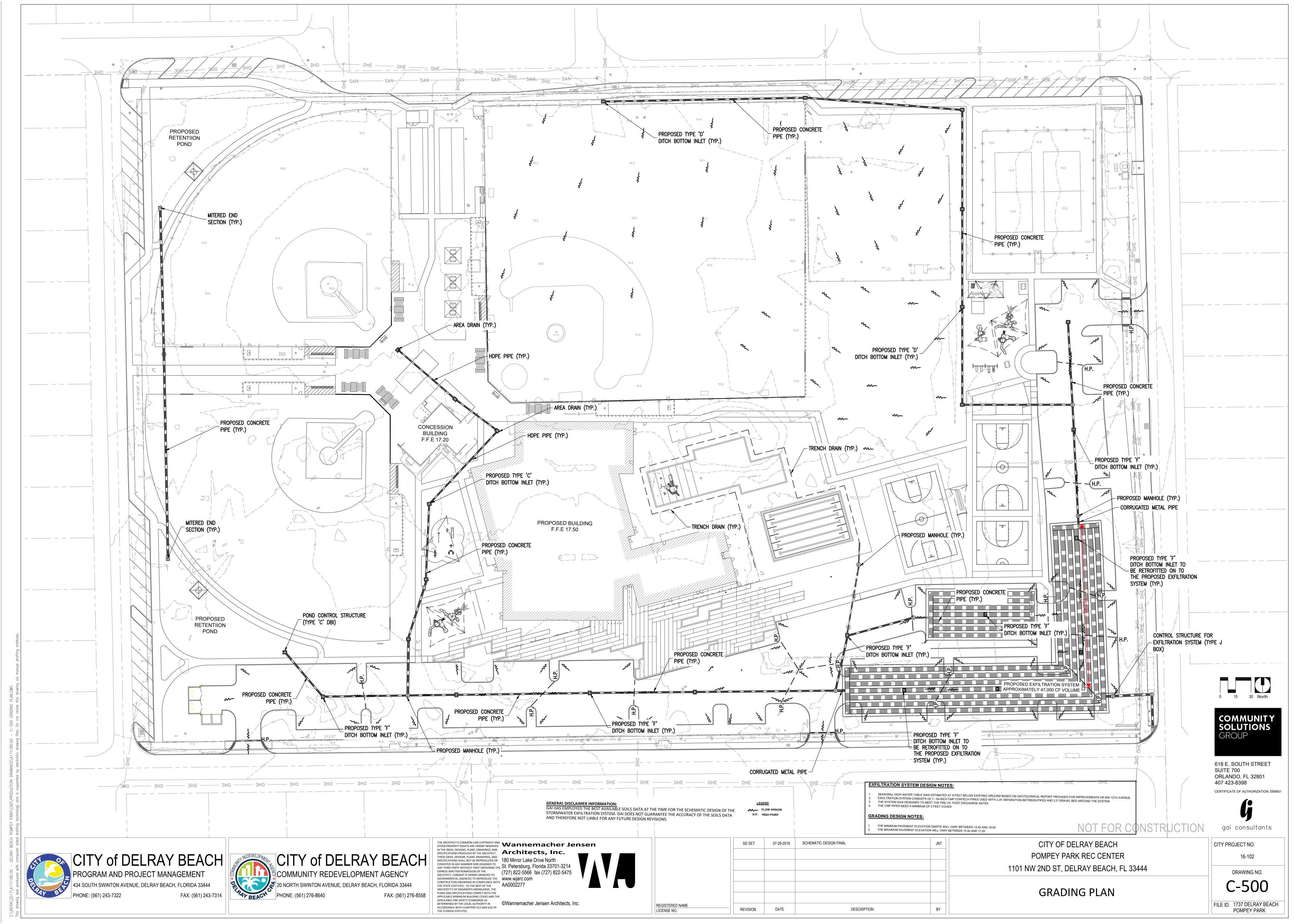
CITY OF DELRAY BEACH

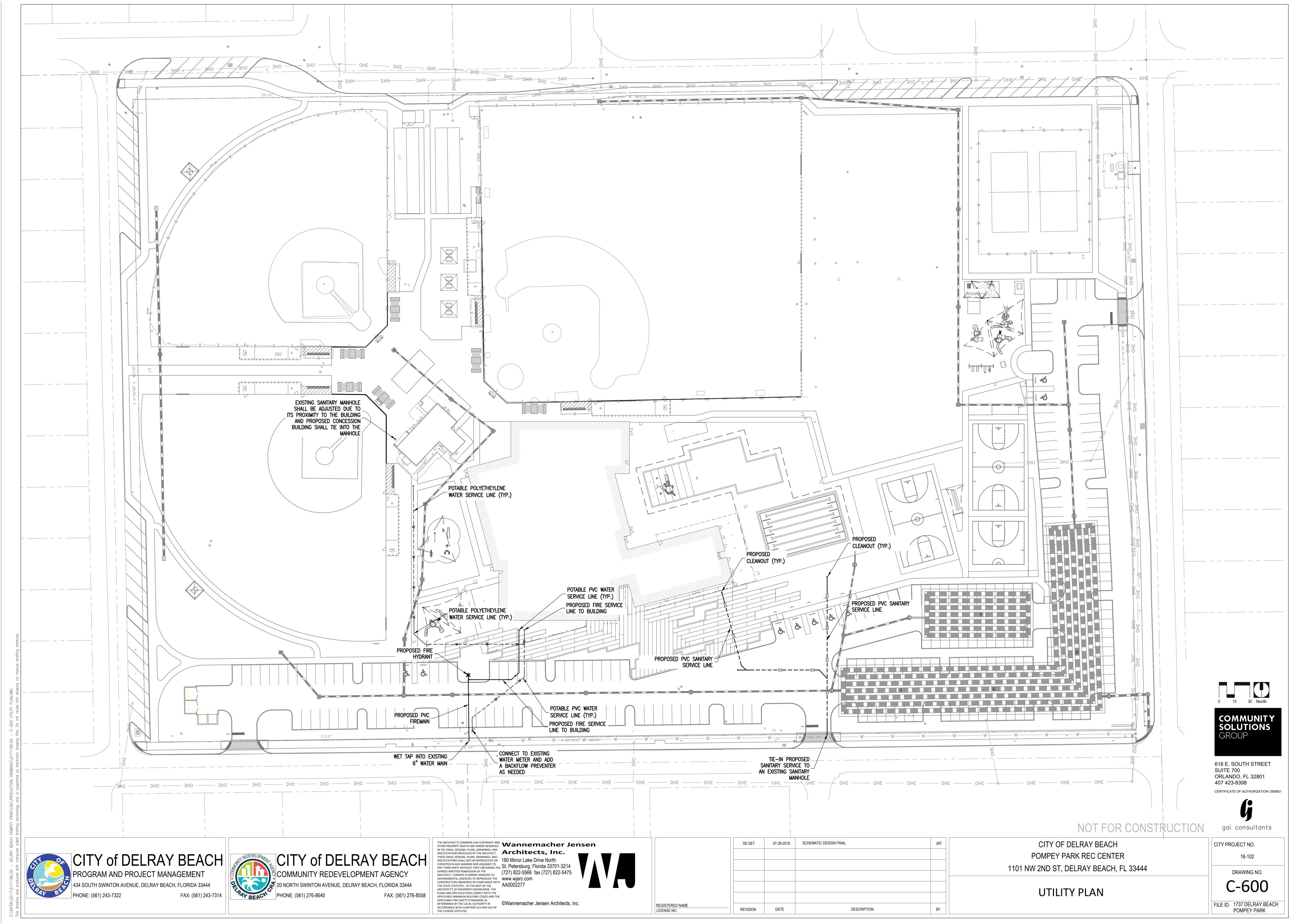
LEVEL 2 - LIFE SAFETY PLAN

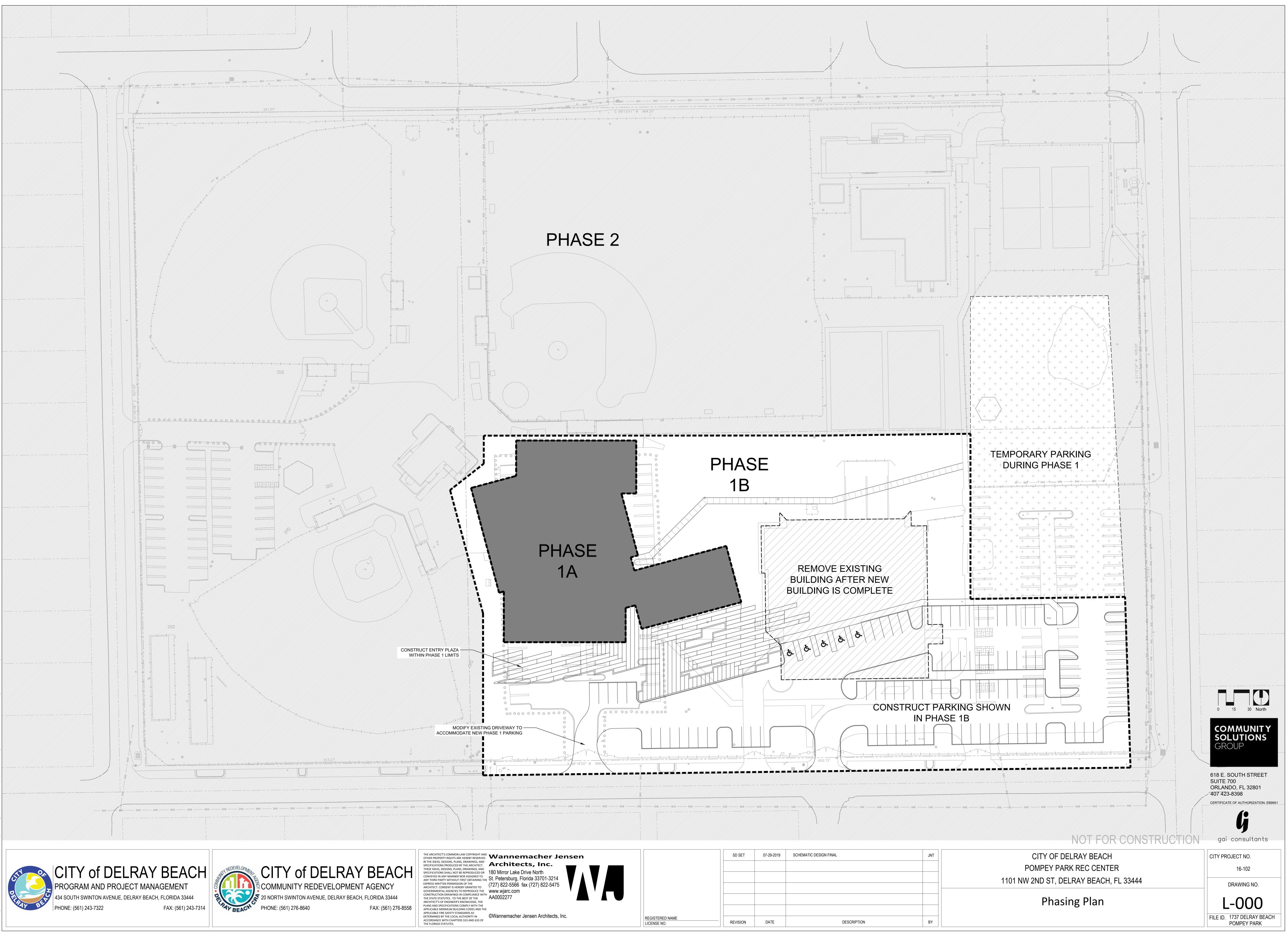




2:\INFRA\2017\A171180.00 - DELRAY BEACH POMPEY PARK\CAD\PRODUCTION DRAWINGS\A171180.00 - C-300 DEMO PLAN.DWG This drawing was produced with commuter gided drafting technology and is supported by electronic drawing files Do not revise this drawing via manual



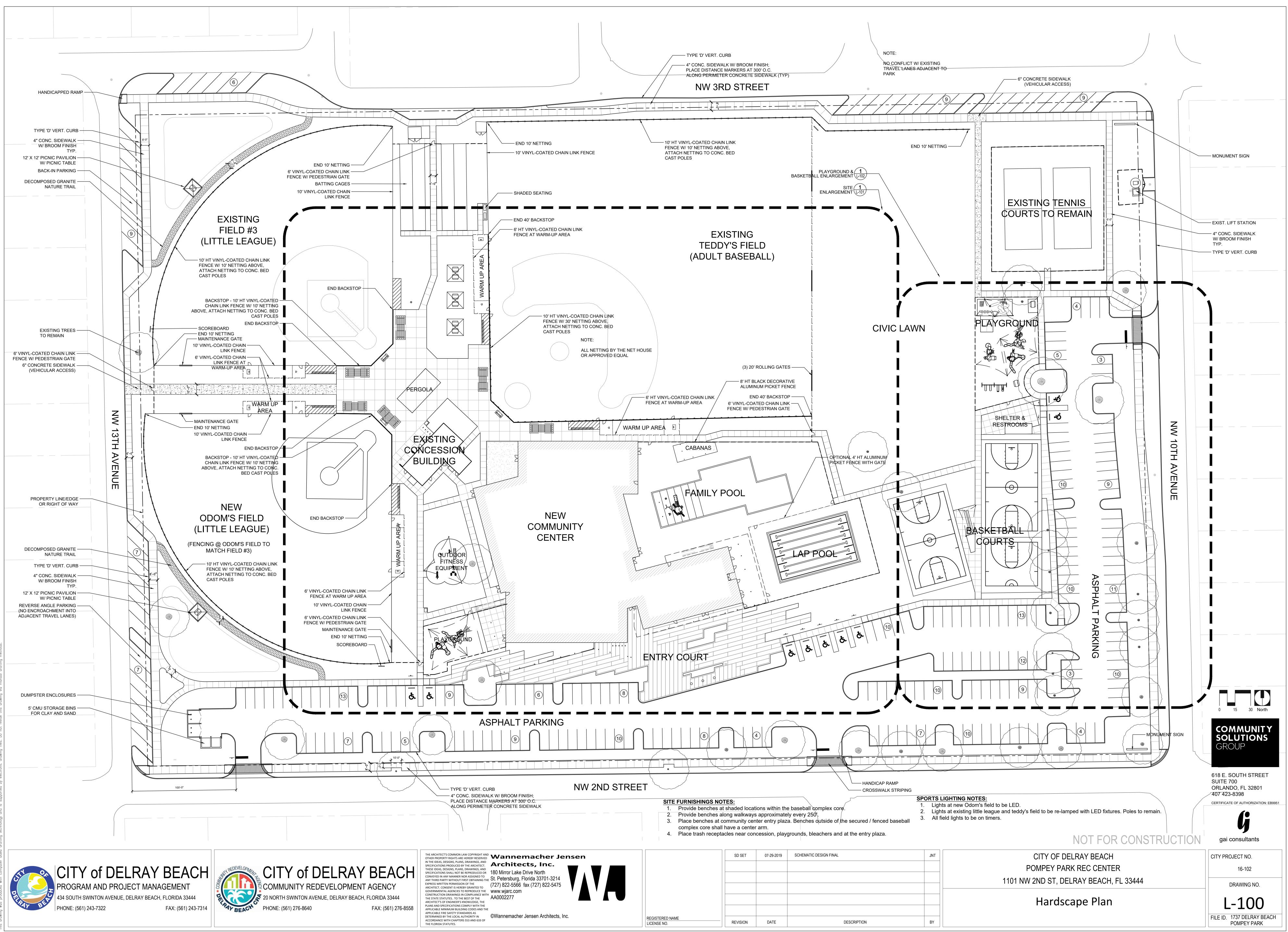


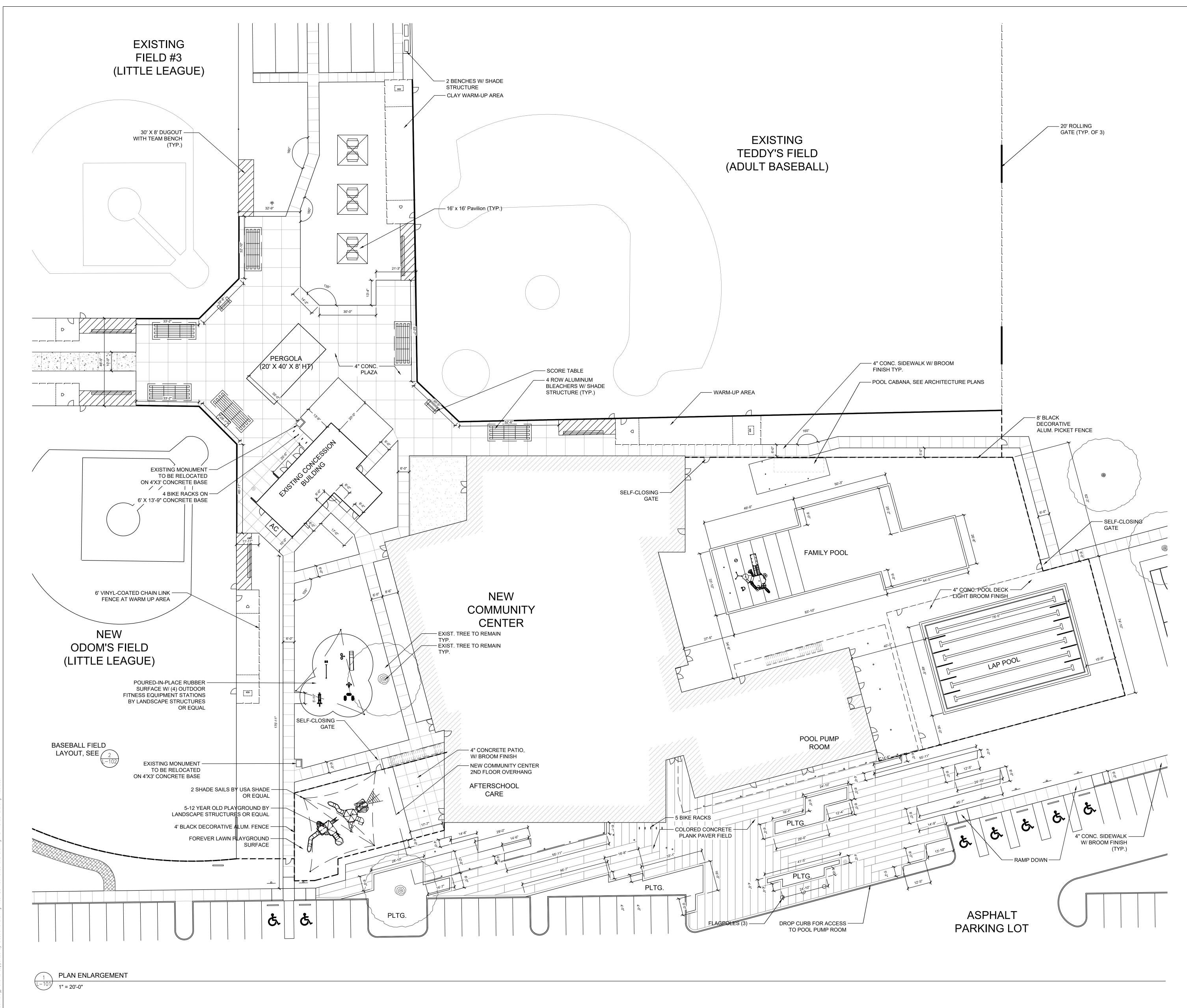


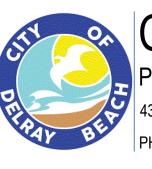




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			POMPEY PARK REC CENTER
			1101 NW 2ND ST, DELRAY BEACH, FL 33444
			Phasing Plan
			Fliasing Flan
DATE	DESCRIPTION	BY	







CITY of DELRAY BEACH PROGRAM AND PROJECT MANAGEMENT

434 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 PHONE: (561) 243-7322 FAX: (561) 243-7314



CITY of DELRAY E COMMUNITY REDEVELOPMENT AG 20 NORTH SWINTON AVENUE, DELRAY BEACH, FLO PHONE: (561) 276-8640

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GENCY	EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. CONSENT IS HEREBY GRANTED TO (727) 822-5566 fax (727) 822-5475		-
ORIDA 33444	GOVERNMENTAL AGENCIES TO REPRODUCE THE WWW.Wjarc.com CONSTRUCTION DRAWINGS IN COMPLIANCE WITH THE STATE STATUTES TO THE BEST OF THE AA0002277		
FAX: (561) 276-8558	ARCHITECT'S OF ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE		+
	APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN COWANNEMACHT JENSEN ACTION OF A STANDARDS AS COWANNEMACHT JENSEN ACTION OF A STANDARDS AS COWANT AS		+
	ACCORDANCE WITH CHAPTERS 553 AND 633 OF THE FLORIDA STATUTES.	REVISION	

07-29-2019	SCHEMATIC DESIGN FINAL	JNT	
DATE	DESCRIPTION	BY	

	_				
РОМ	PARKING (CALCULATIO		ENTS	
PROGRAM	AREA S.F.		REQUIRED PARKING	OCCUPANCY TYPE	TOTAL
FIRST LEVEL	500	0	0	NA	0
Reception	150		1/250	Business	0.6
Administration Offices / Work Room	1100	250	1/250	Business	4.4
Commons (corridor)	3700	0	0	NA	0
Women's Restrooms	100	0	0	NA	0
Men's Restrooms	100	0	0	NA	0
Cubbie Room Indoor Playroom (jungle Gym) / temp child care	100 700	0	0 1/100	NA Banquet Hall	0
Dance / Aerobics	1600	100	1/100	Exercise Studio	16
Teen Room w/ Exterior Covered Area	1000	100	1/100	Banquet Hall	10
Large Multi-Purpose Room (with Stage)	3000	50	Jan-50	Meeting places	60
Green Room (MP)	200	100	1/100	General Auditorium	2
MP Storage	400	0	1/300	Accessory storage, mechanical	0
Concession / Kitchen	450		1/100	Banquet Hall	4.5
Janitor Closet Double Gym	25 13500	0 250	C 1/250	NA Skating Rink	0 54
Gym Storage	500	250	1/250		0
Covered Terrace	600	0		N/A	0
Party Rooms (2) adjacent to pool	600	100	1/100	Banquet Hall	6
After School Program Suite					0
Reception	150	250	1/250	Business	0.6
Office	150	250	1/250	Business	0.6
Activity Room	2625	300	0	Nursery	8.75
Kitchenette Restrooms	200 300	200	1/200 0	Kitchens NA	1
Storage	400	0	с С		0
Women's Lockers (gym & pool)	850	0	C		0
Men's Locker's (gym & pool)	850	0	C	NA	0
Pool Equipment Storage	500	0	C	NA	0
Pump Room	800	0	C	NA	0
Staff Restroom	50		0	NA	0
Staff Lockers Lifeguard / Staff Office	150 150	0	C 1/100	NA Business	0
Sports Equipment Storage (play fields & courts)	130	0	1/100		0
Elevator & Machine Room	1200	0	C		0
Trash / Recycle Room	300	0	C		0
Data Room	150	0	C	NA	0
Electrical Room	150	0		NA	0
Mechanical Rooms	350	0	С	NA	0
SECOND LEVEL					
Commons (corridor)	2500		0	NA	
Breakroom	275	250	1/250	Business	1.1
Women's Restrooms Men's Restrooms	100 100	0	0	NA NA	
Multipurpose Activity Room A	745	50	Jan-50	Craft studio	14.9
Multipurpose Activity Room B	745		Jan-50	Craft studio	14.9
Multipurpose Activity Room C	745	50	Jan-50	Craft studio	14.9
Conference Room / Multi-Purpose	550	50	Jan-50	Business	11
Mechanical Room	200	0	0	NA	
Janitor Closet	45	0	0	NA	
Storage Room	300		0	NA Shatiya Bish	
Running Track Fitness - Cardio Deck (adjacent to running track)	2800		1/250 1/250	Skating Rink Skating Rink	11.2
Running Track Storage Room	1500 0	230	0	NA	6
Covered Terrace	600	0	15-Jan	NA	
					251
PLAY FIELDS / COURTS / POOL	Quantity		Required		TOTAL
	Quantity		Parking		
Basketball Courts	3		4 spaces / Court		12
Tennis Courts	2		4 spaces / Court		8
Baseball Fields	3		20 spaces / Field		60
Pool Program			1/75 sf (1st 1000) 1/125		63
	1	1	i i	1	143
Park Total					

ZONING DATA / SITE ANALYSIS

Pompey Park 1101 NW 2nd St, Delray Beach, FL 33444 3 lots @ 13.83 acres total Parcel numbers 12-43-46-17-00-000-3130 - Owner: City of Delray Beach 12-43-46-17-00-000-3140 - Owner: City of Delray Beach 12-43-46-17-00-000-3160 - Owner: City of Delray Beach Current zoning: OSR (open space recreation) Adjacent zoning: R-1-A (single family residential) Existing parking: 202 Proposed parking: 266

Parking count development regulations used for parking calculation include:City of Delray BeachTennis courts - 4 parking spaces per courtSenior rooms / multi-purpose rooms- craft center 50 sf. per parking spaceOffice - 1 parking space per 250 s.f.

City of Doral (Land Development Code sec 77-737) <u>Running track</u> - Skating Rink 250 s.f. per parking space <u>Fitness room</u> - Skating Rink 250 s.f. per parking space <u>Dance aerobics</u> - Excersice studio 100 s.f. per parking space <u>Green rooms</u> - General auditorium 100 s.f. per parking space <u>Teen room</u> - Banquet Hall 100 s.f. per parking space <u>Double Gym</u> - Skating Rink 250 s.f. per parking space

City of St Petersburg (Use Permissions and Parking Requirements Matrix and Zoning Matrix)

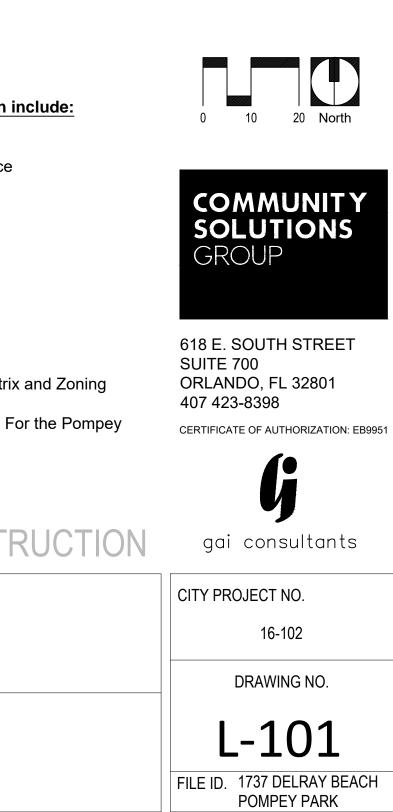
<u>Baseball fields</u> - 10 parking spaces per athletic field or large group court; For the Pompey Master Plan the count was increase to 20 spaces per athletic field. <u>Basketball</u> - 4 parking spaces per small group court.

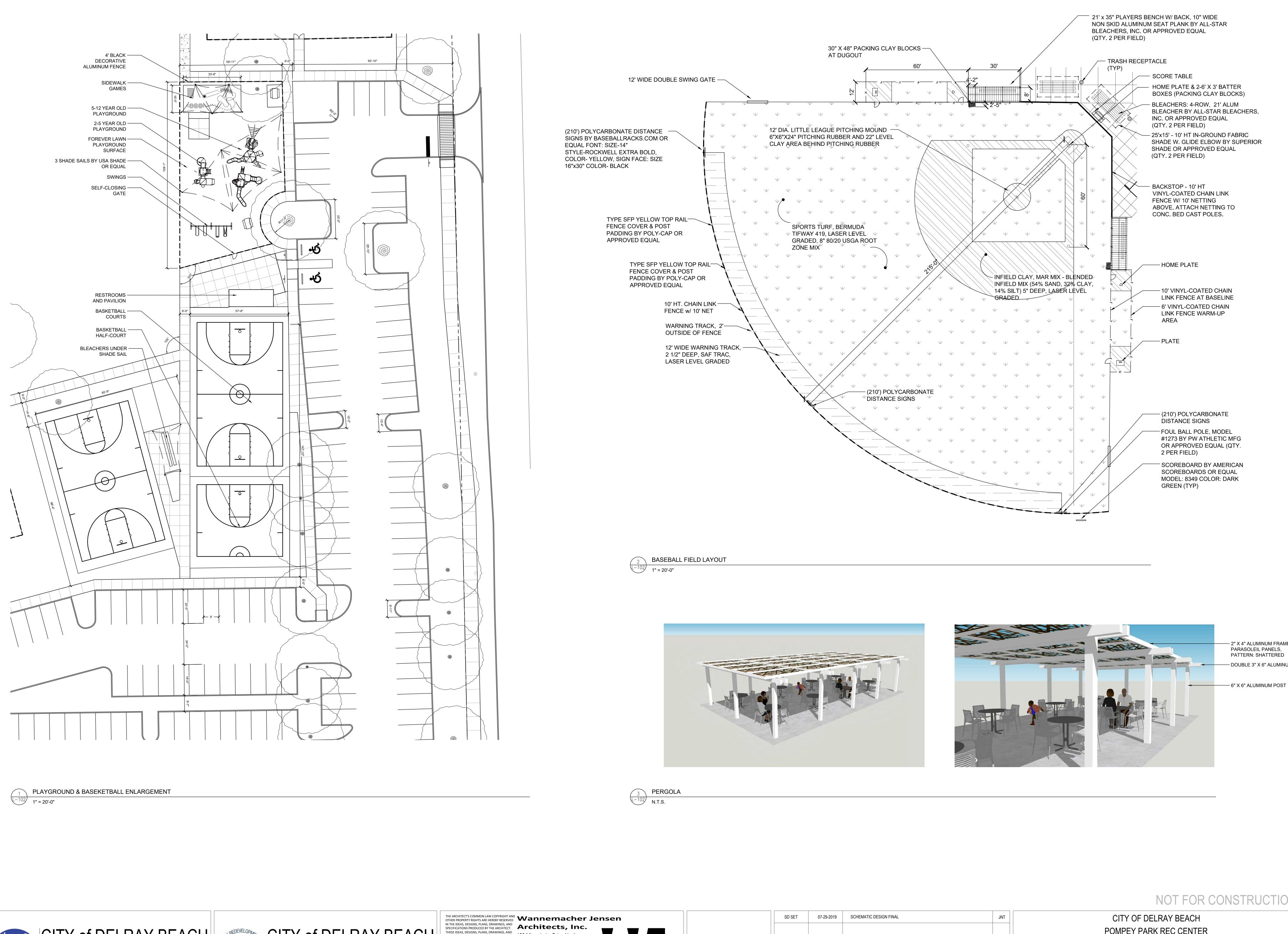
Pool - 1/75 s.f. for the 1st 1000 sf water surface; 1/125 s.f. thereafter.

NOT FOR CONSTRUCTION

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

Site Enlargement







PROGRAM AND PROJECT MANAGEMENT 34 SOUTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 FAX: (561) 243-7314 PHONE: (561) 243-7322



CITY OF DELRAY BEACH PROGRAM AND PROJECT MANAGEMENT COMMUNITY REDEVELOPMENT AGENCY 20 NORTH SWINTON AVENUE, DELRAY BEACH, FLORIDA 33444 FAX: (561) 276-8558 PHONE: (561) 276-8640

specifications shall not be reproduced or 180 Mirror Lake Drive North CONVEYED IN ANY MANNER NOR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE St. Petersburg, Florida 33701-3214 EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. CONSENT IS HEREBY GRANTED TO (727) 822-5566 fax (727) 822-5475 GOVERNMENTAL AGENCIES TO REPRODUCE THE CONSTRUCTION DRAWINGS IN COMPLIANCE WITH THE STATE STATUTES.. TO THE BEST OF THE AAO002277 ARCHITECT'S OF ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE

DETERMINED BY THE LOCAL AUTHORITY IN OWANNEMACHER JENSEN Architects, Inc.

APPLICABLE FIRE SAFETY STANDARDS AS

THE FLORIDA STATUTES.

ACCORDANCE WITH CHAPTERS 553 AND 633 OF

	SD SET	
REGISTERED NAME LICENSE NO.	REVISION	

			NOT FOR CONS
07-29-2019	SCHEMATIC DESIGN FINAL	JNT	CITY OF DELRAY BEACH
			POMPEY PARK REC CENTER
			1101 NW 2ND ST, DELRAY BEACH, FL 33444
			Site Enlargement
DATE	DESCRIPTION	BY	

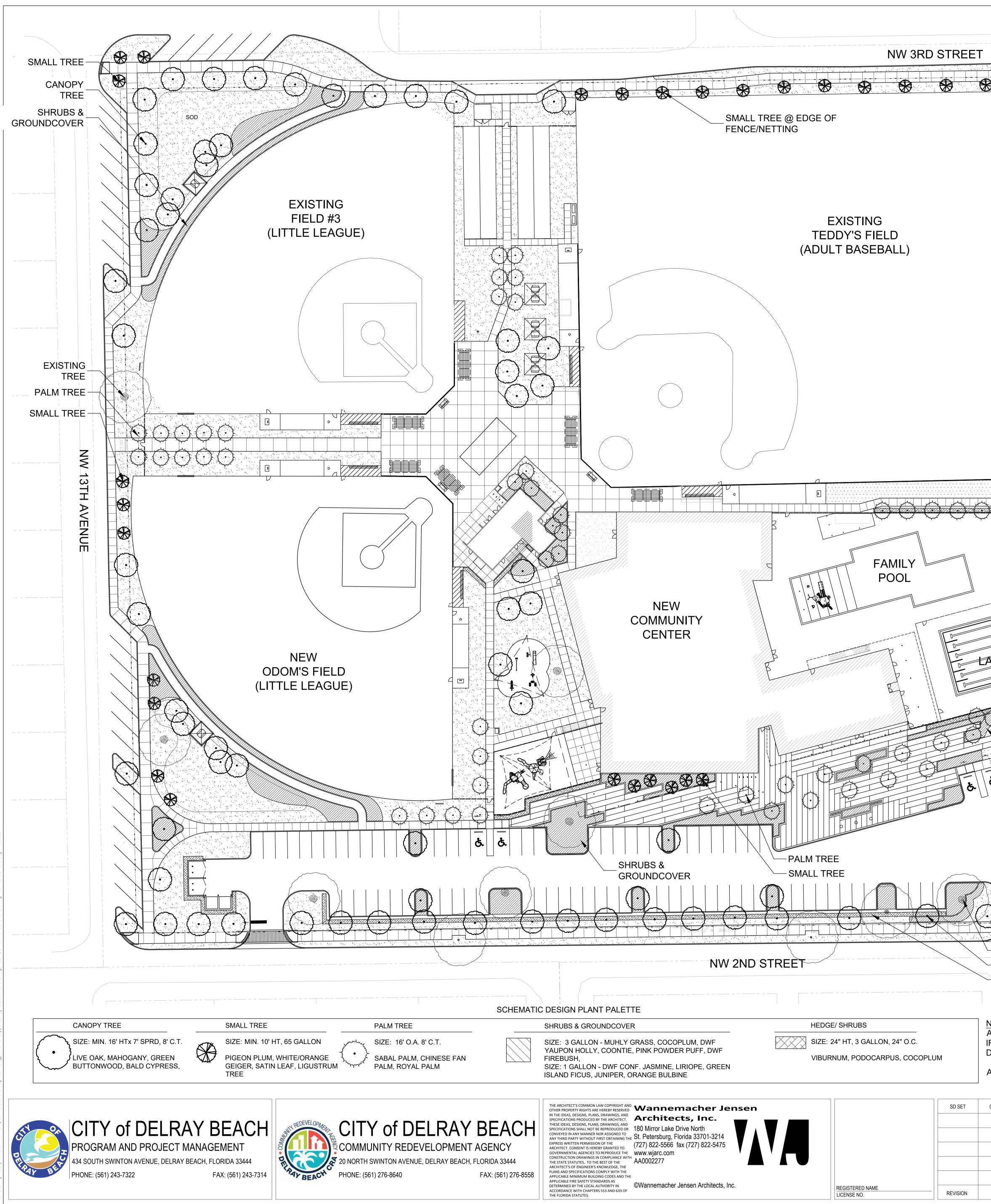
2" X 4" ALUMINUM FRAME W/ 4' X 8' PARASOLEIL PANELS, PATTERN: SHATTERED ----- DOUBLE 3" X 6" ALUMINUM BEAM



L-102

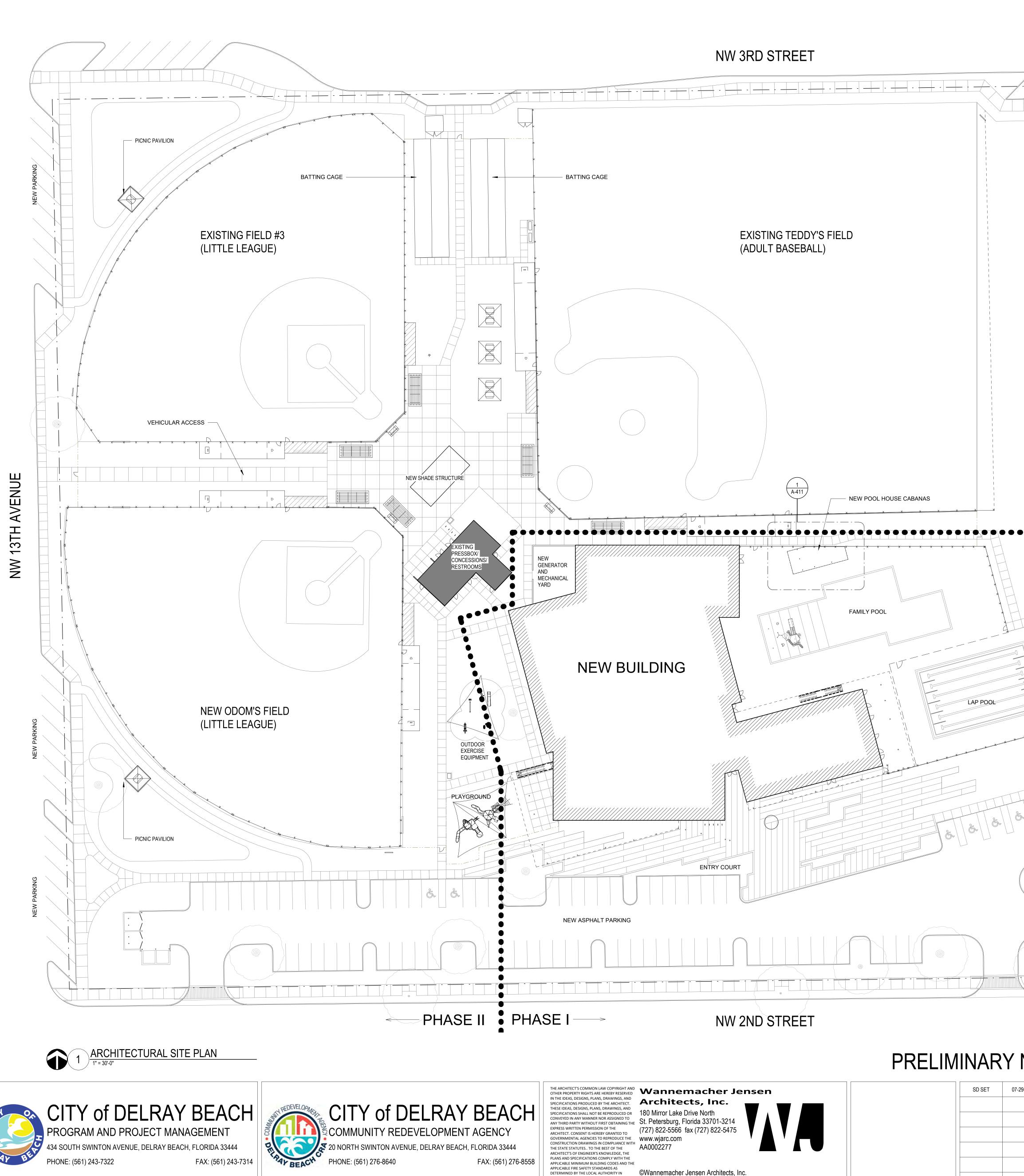
FILE ID. 1737 DELRAY BEACH POMPEY PARK

TRUCTION



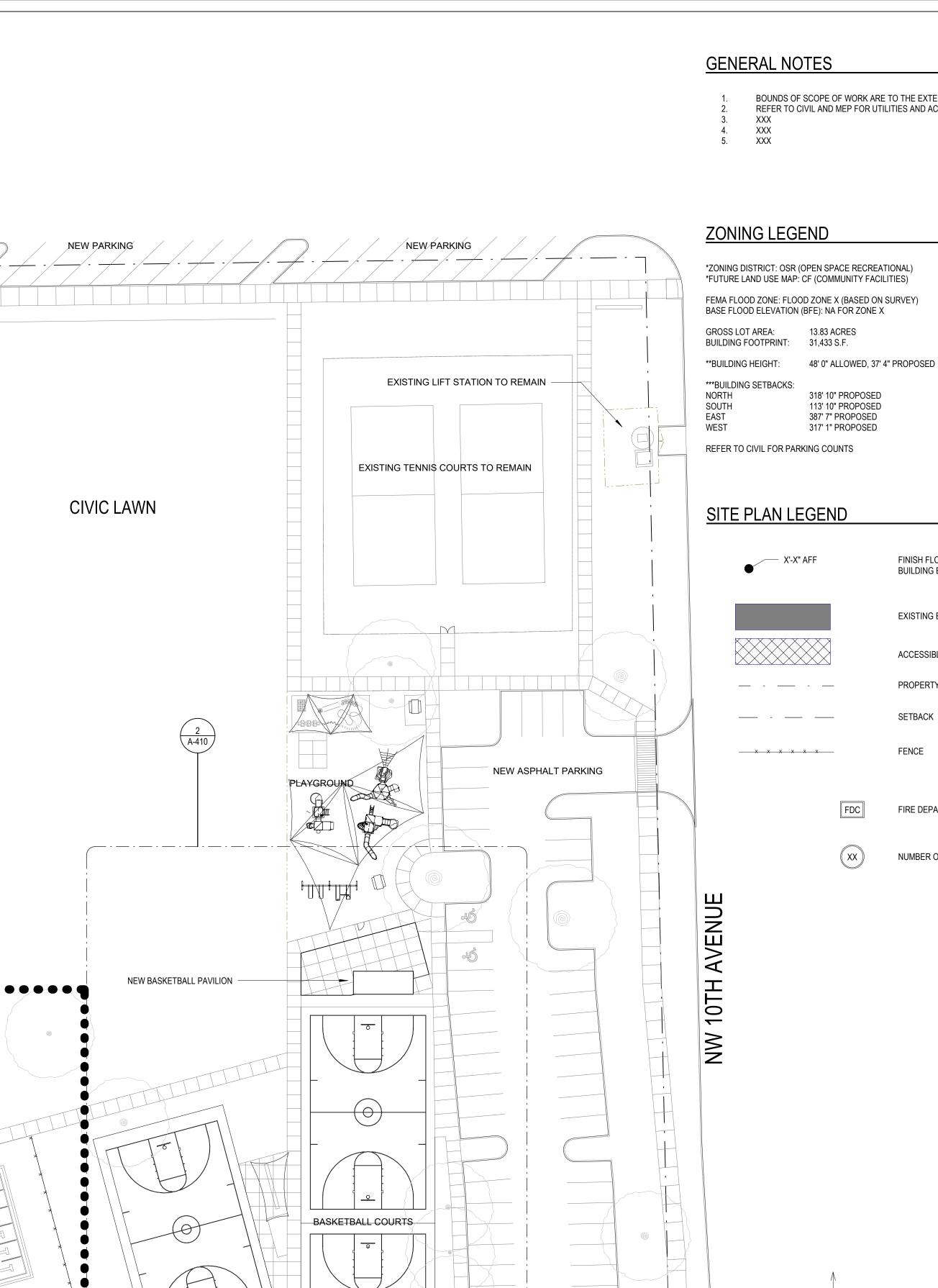
/				
	BERMUDA SOD			HEDO HEDO EXIS PAL SMA
	GROUNDCOVER			
IRRIGAT DEVELC	DGE DSCAPE AREAS SHALL BE IRRIGATED WI ION SYSTEM IN ACCORDANCE WITH DELE PMENT REGULATIONS. O OTHER THAN SPORTS TURF SHALL BE S	ray be	EACH LAND	0
07-29-2019	SCHEMATIC DESIGN FINAL		CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 334	NS
DATE	DESCRIPTION	BY	Landscape Plan	





ACCORDANCE WITH CHAPTERS 553 AND 633 OF

THE FLORIDA STATUTES.



PRELIMINARY NOT FOR CONSTRUCTION

REVISION

NEW ASPHALT PARKING

CITY OF DELRAY BEACH 07-29-2019 SCHEMATIC DESIGN FINAL POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444 LEVEL 0 - SITE PLAN DATE DESCRIPTION BY

BOUNDS OF SCOPE OF WORK ARE TO THE EXTENT REQUIRED TO COMPLETE WORK. REFER TO CIVIL AND MEP FOR UTILITIES AND ACCESS POINTS.

FINISH FLOOR LEVEL AT BUILDING ENTRY POINT

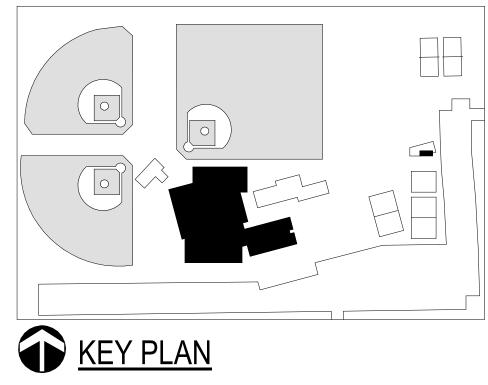
EXISTING BUILDING ACCESSIBLE ROUTE PROPERTY LINE SETBACK FENCE

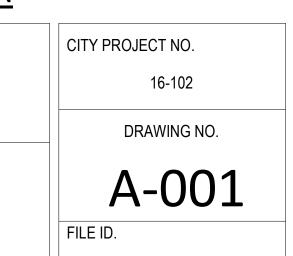
FIRE DEPARTMENT CONNECTION

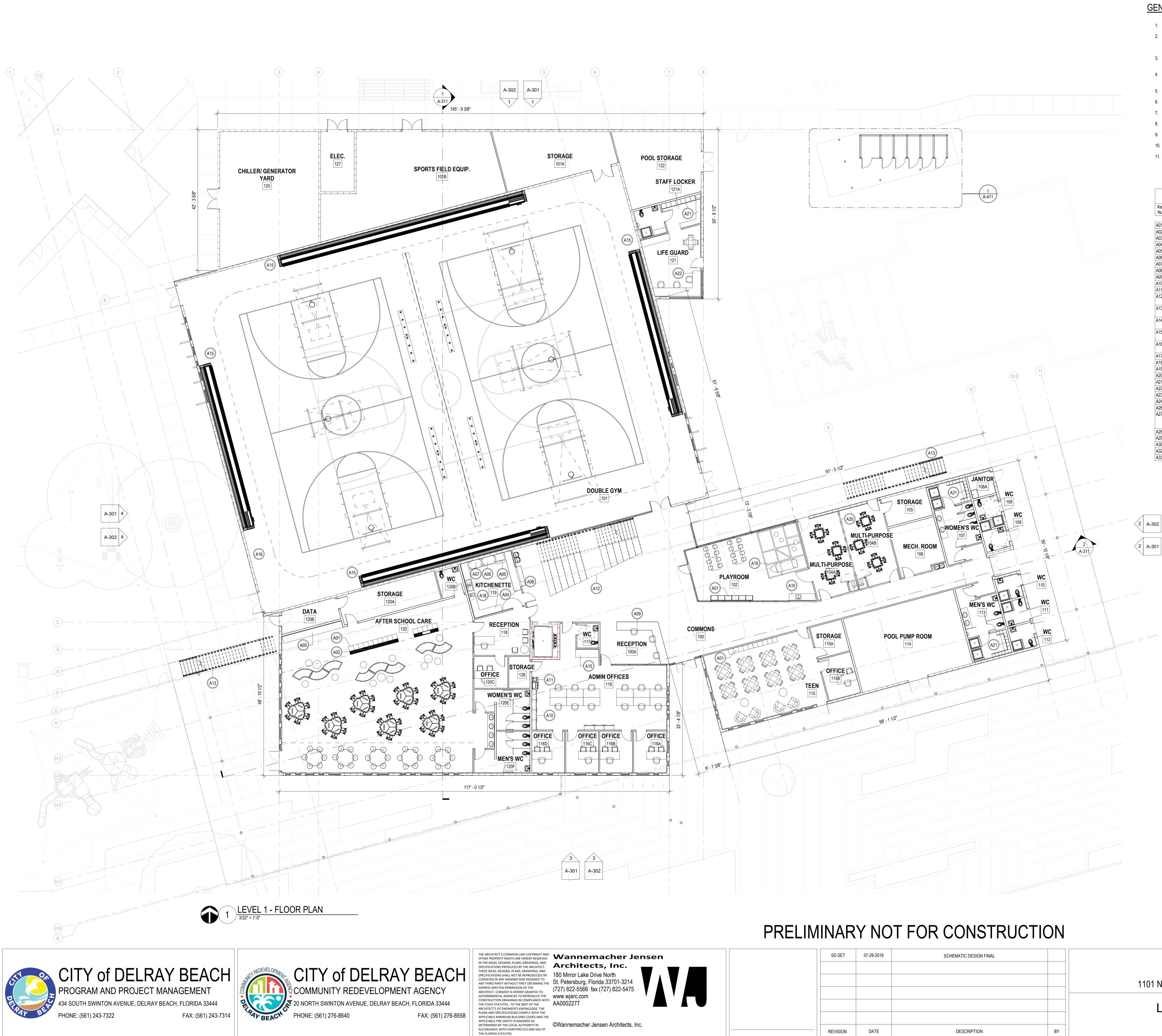
NUMBER OF PARKING SPACES

PHASE II

PHASE I



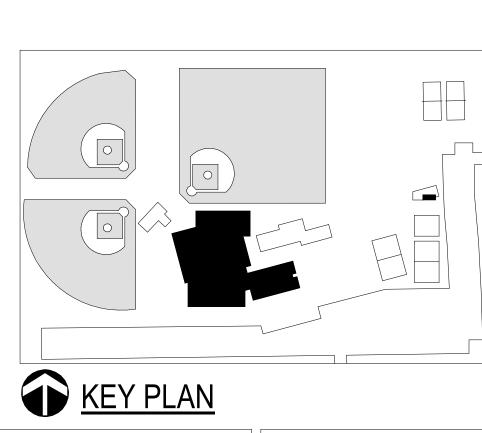




GENERAL NOTES

- 1. HATCHED AREA NOT INCLUDED IN SCOPE OF WORK UNLESS OTHERWISE NOTED.
- 2. PROVIDE SUPPORT FOR WALL MOUNTED CABINETS AND PLUMBING FIXTURES. STEEL STUDS SUPPORTING WALL MOUNTED FIXTURES TO BE DOUBLED AT 16 O.C. OR NOT LESS THAN 20 GAUGE PER FBC 2517.5.1.1.
- COMBUSTIBLE MATERIALS IN TYPES I & II CONSTRUCTION TO COMPLY WITH FBC 603.1 3 (FIRE RETARDANT - TREATED WOOD) AND 805.1 & 806.1
- 4. PROVIDE CEMENTITIOUS BACKER BOARD IN PLACE OF GWB AT ALL LOCATIONS SHOWING CERAMIC OR PORCELAIN TILE FINISH
- 5. PROVIDE ACOUSTICAL BATT INSULATION WHERE DEPICTED
- 6. SEE SHEET ID100 ID10X FOR FINISH PLANS.
- 7. SEE SHEET AX.X FOR PLAN DETAIL CALLOUTS. 8. SEE SHEET AX.X FOR PARTITION TYPE DETAILS.
- 9. SEE SHEET AX.X FOR DIMENSION PLANS.
- 10. SEE SHEET AX.X FOR DOOR SCHEDULE.
- 11. SEE ENLARGED PLANS FOR ADDITIONAL WALL TAG INFORMATION.

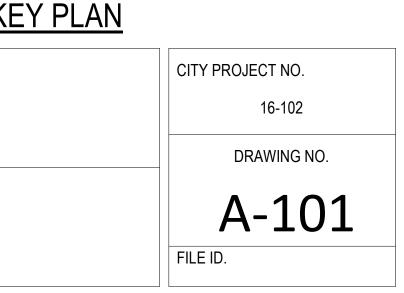
	SPECIFIC KEYNOTES - PLANS
Keynote Number	Keynote Text
A01	CUBBIES
A02	SHELVES
A02	LAMINATE COUNTER TOP W/ STORAGE
A04	STAINLESS COMMERCIAL GRADE COUTERTOP
A05	STAINLESS COMMERCIAL 200LB CAPACITY ICE MAKER
A06	STAINLESS COMMERCIAL DOUBLE DOOR REFRIGERATOR
A07	STAINLESS COMMERCIAL DOUBLE DOOR FREEZER
A08	COMMERCIAL GRADE ROLL-UP WINDOW
A09	SOLID SURFACE AND LAMINATE RECEPTION DESK
A10	BUILT-IN MILLWORK
A11	COMMERCIAL PRINTER
A12	PRECAST CONCRETE STAIR WITH PORCELAIN TILE AND ALUMINUM CABLE RAILING. SOCIAL STAIR EXTENSION.
A13	PRECAST CONCRETE STAIR WITH TRAFFIC COATING AND ALUMINUM CABLE RAILING
A14	ADJUSTABLE CEILING MOUNTED BASKETBALL GOAL WITH APPROPRIATE ELECTRONIC WINCHES
A15	ELECTRICALLY OPERATED RETRACTABLE BLEACHER. BASIS OF DESIGN HUSSEY SEATING - MAXAM TELESCOPIC SEATING, PORTABLE.
A16	ELECTRONIC SCOREBOARD WITH SHOT CLOCKS FOR EACH COURT. BASIS OF DESIGN - DAKTRONICS SPORTS MODEL BB-2125
A17	DRAPER ROLL-UP GYM DIVIDER CURTAIN 220Z, MOTORIZED
A18	STAINLESS COMMERCIAL DISHWASHER
A19	TWO STORY INDOOR PLAY STRUCTURE
A20	SOLID SLIDING DIVIDING WALL PANEL SYSTEM
A21	TWO TIER LOCKERS WITH BUILT-IN BENCH
A22	WORK STATION COUNTER TOP
A23	COMPOSITE METAL DECK WITH OMNI SPORTS 6.5mm RUBER FLOORING
A24	METAL RAILING 42 IN TALL
A26	NANA WALL SL45 DOOR SYSTEM
A27	ROBBINS SPORT SURFACES BIO CUSHION CLASSIC FLOORING SYSTEM OVER 2 LAYERS OF PLYWOOD SHEATHING OVER SHOCK PADS OVER VAPOR BARRIER
A28	STAINLESS COMMERCIAL GAS RANGE
A29	STAINLESS COMMERCIAL FRYER
A30	STAINLESS COMMERCIAL GAS OVEN
A32	PORTABLE STAGE AND STAIRS
A33	MANUAL STAGE CURTAINS

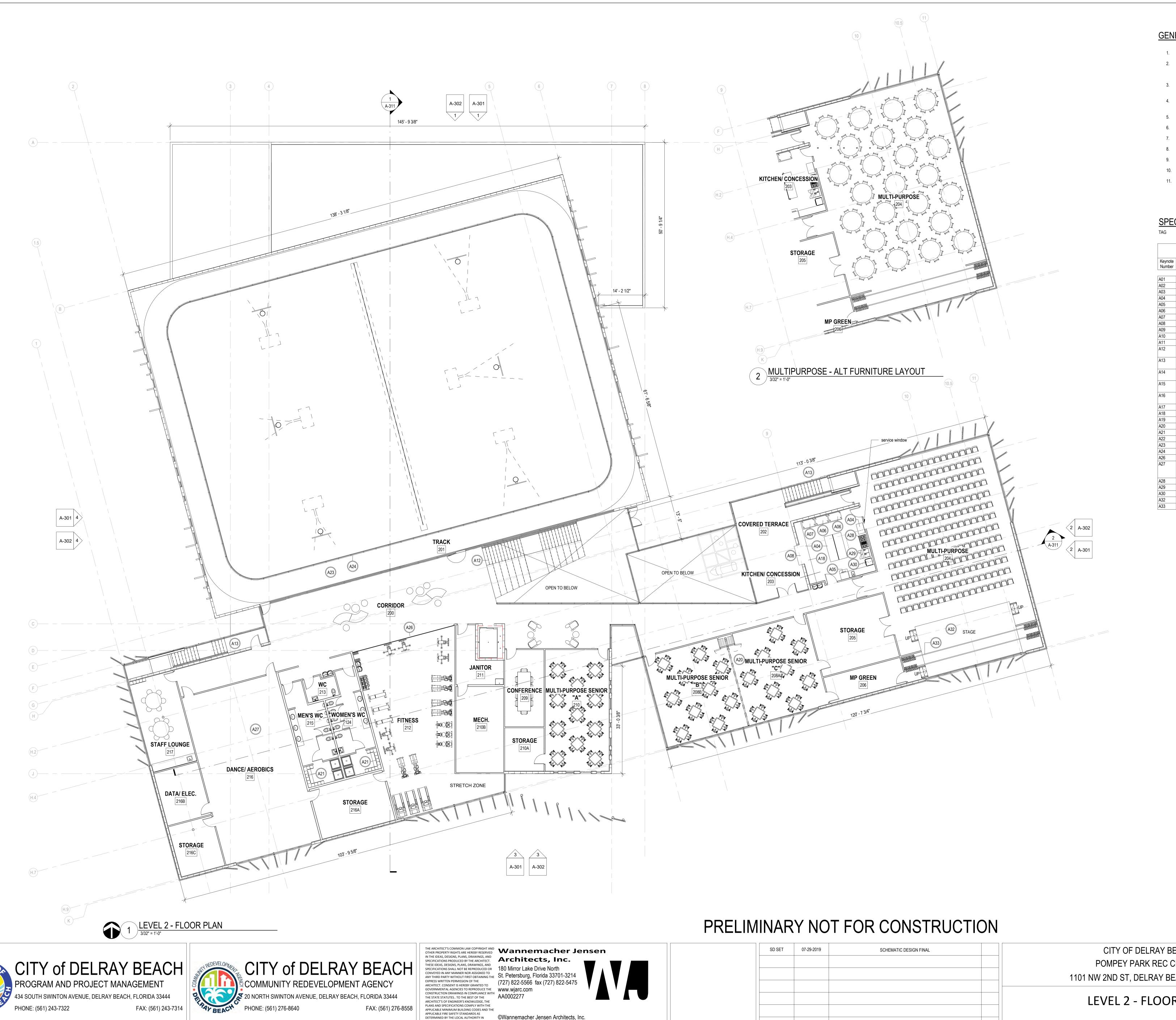


CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

LEVEL 1 - FLOOR PLAN

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ACCORDANCE WITH CHAPTERS 553 AND 633 OF

THE FLORIDA STATUTES.

©Wannemacher Jensen Architects, Inc.

GENERAL NOTES

1.	HATCHED AREA NOT INCLUL
2.	PROVIDE SUPPORT FOR WA STUDS SUPPORTING WALL M THAN 20 GAUGE PER FBC 25
3.	COMBUSTIBLE MATERIALS II (FIRE RETARDANT - TREATE
4.	PROVIDE CEMENTITIOUS BA CERAMIC OR PORCELAIN TIL
5.	PROVIDE ACOUSTICAL BATT
6.	SEE SHEET ID100 - ID10X FO
7.	SEE SHEET AX.X FOR PLAN
8.	SEE SHEET AX.X FOR PARTI
9.	SEE SHEET AX.X FOR DIMEN
10.	SEE SHEET AX.X FOR DOOR
11.	SEE ENLARGED PLANS FOR

SPECIFIC NOTES TAG NOTE

	SPECIFIC KEYNOTES - PLANS			
Keynote Number	Keynote Text			
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A02	SHELVES			
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A30	STAINLESS COMMERCIAL GAS OVEN			
A32	PORTABLE STAGE AND STAIRS			
A33	MANUAL STAGE CURTAINS			

DATE BY DESCRIPTION

REVISION

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

LEVEL 2 - FLOOR PLAN

1. HATCHED AREA NOT INCLUDED IN SCOPE OF WORK UNLESS OTHERWISE NOTED. ALL MOUNTED CABINETS AND PLUMBING FIXTURES. STEEL MOUNTED FIXTURES TO BE DOUBLED AT 16 O.C. OR NOT LESS 517.5.1.1. S IN TYPES I & II CONSTRUCTION TO COMPLY WITH FBC 603.1 TED WOOD) AND 805.1 & 806.1

ACKER BOARD IN PLACE OF GWB AT ALL LOCATIONS SHOWING ILE FINISH

T INSULATION WHERE DEPICTED

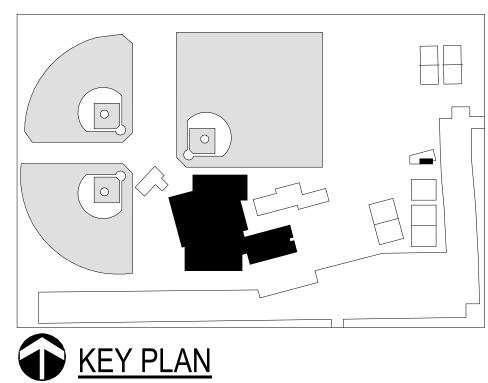
OR FINISH PLANS.

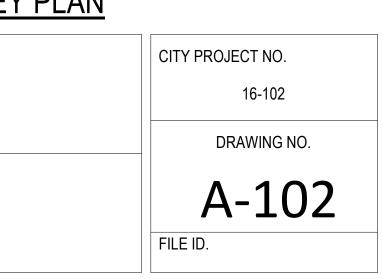
N DETAIL CALLOUTS. TITION TYPE DETAILS.

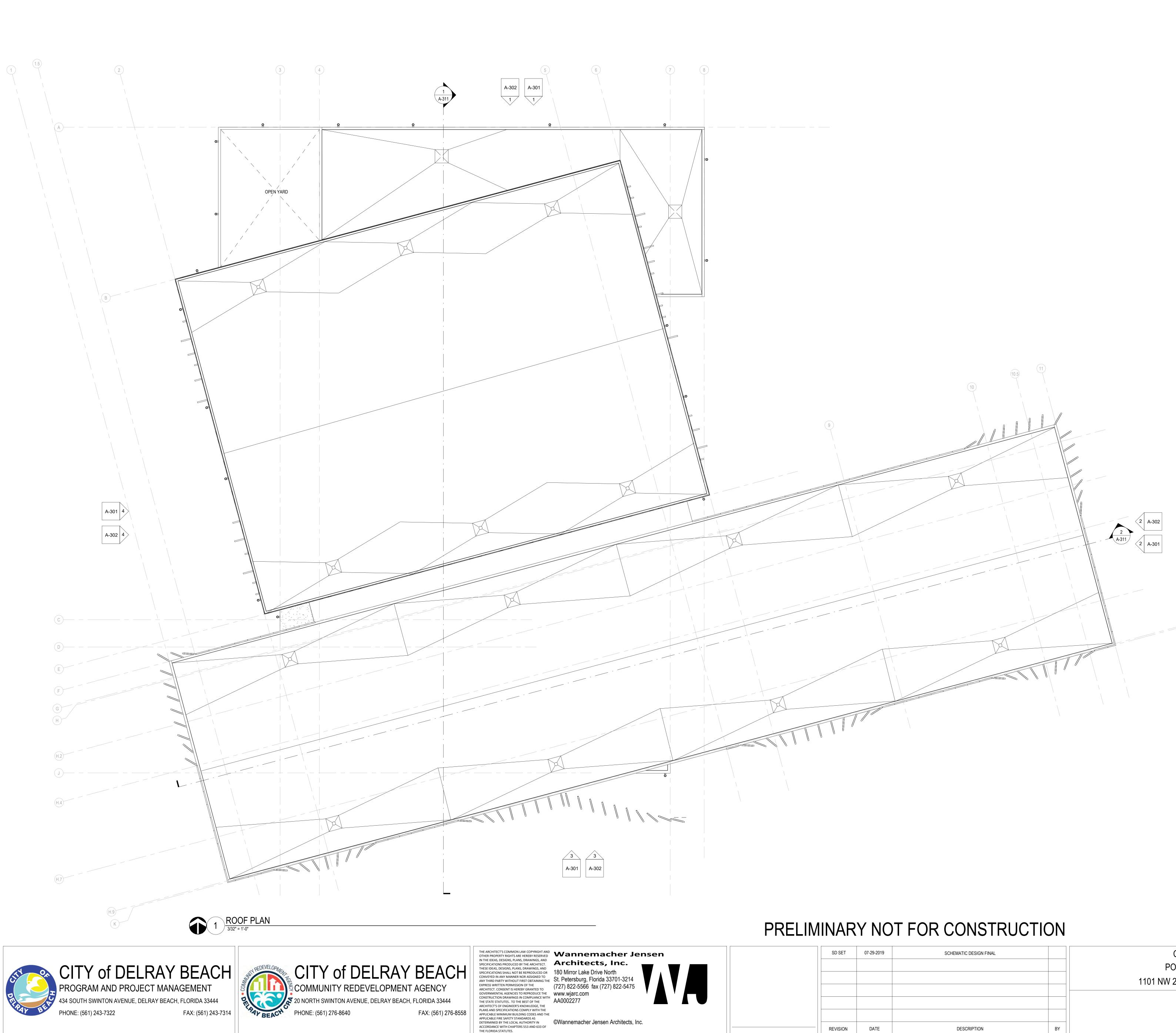
NSION PLANS.

R SCHEDULE.

R ADDITIONAL WALL TAG INFORMATION.







GENERAL NOTES

- THAT USED FOR THIS PROJECT.
- CONT ALUMINUM CLEATS.
- 3. SUPPORTED.
- 4. FINISH WITH 20-YEAR FINISH WARRANTY.
- OVERFLOW DRAINS.

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

ROOF PLAN

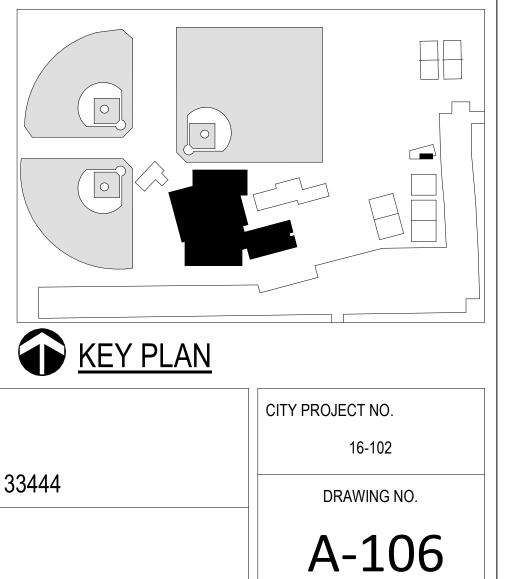
1. ROOFING PRODUCT BASIS-OF-DESIGN: FIBERTITE ROOFING SYSTEM OR APPROVED EQUAL (COLOR WHITE) RIGID INSULATION BOARD MECHANICALLY FASTENED TO ROOF DECK. INSULATION TO HAVE AN AVERAGE R-30 @ ALL ROOFS OVER CONDITIONED SPACES. PROVIDE ROOFING COMPONENTS AND MATERIALS APPROVED BY THE ROOFING PRODUCT MANUFACTURER. ASSEMBLE ROOFING COMPONENTS INCLUDING FLASHING, ROOF DRAINS, ETC. PER THE ROOFING PRODUCT MANUFACTURER'S DETAILS AND INSTRUCTIONS SO AS TO QUALIFY FOR, AND RECEIVE A SPECIAL 20-YEAR WEATHER-TIGHTNESS WARRANTY FROM THE MANUFACTURER AS WELL AS A SPECIAL 2-YEAR PROJECT WARRANTY FROM THE ROOFING INSTALLER COVERING ALL COMPONENTS OF THE ROOFING SYSTEM SUCH AS ROOFING, BASE FLASHING, ROOF INSULATION, FASTENERS, COVER BOARDS, ETC. PROVIDE ROOFING FROM A QUALIFIED MANUFACTURER THAT IS FM GLOBAL APPROVED FOR ROOFING SYSTEM IDENTICAL TO

2. PROVIDE METAL ROOF COPINGS AND PARAPET FASCIAS FABRICATED OF ASTM B209 0.050-INCH ALUMINUM SHEET. COMPLY WITH "THE NRCA ROOFING MANUAL" AND THE SMACNA "ARCHITECTURAL SHEET METAL MANUAL REQUIREMENTS FOR DIMENSIONS AND PROFILES SHOWN UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED. PROVIDE MANUFACTURER'S 20-YEAR FINISH WARRANTY. SECURE COPINGS TO PARAPETS WITH

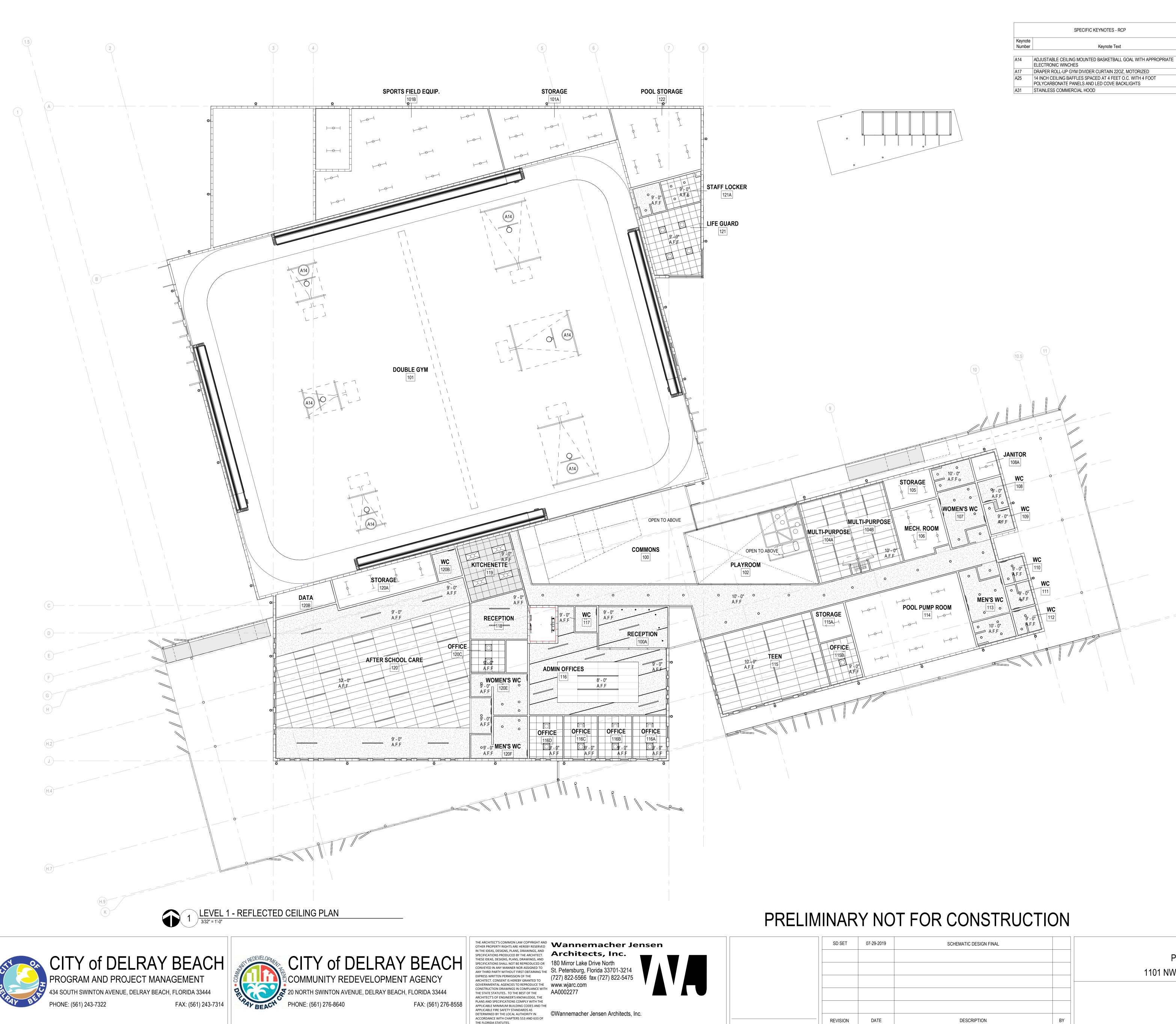
PROVIDE GALVANIZED STEEL INTERNALLY REINFORCED ROOF-CURB UNITS CAPABLE OF SUPPORTING SUPERIMPOSED LIVE AND DEAD LOADS, INCLUDING EQUIPMENT LOADS, WITH WELDED OR MECHANICALLY FASTENED, NON-SAG SEALED JOINTS AND INTEGRALLY FORMED DECK-MOUNTING FLANGE AT PERIMETER BOTTOM. COORDINATE DIMENSIONS WITH ROUGHING-IN INFORMATION ON SHOP DRAWINGS OF EQUIPMENT TO BE

ROOF HATCH BASIS-OF-DESIGN PRODUCT: BILCO TYPE S-50T ROOF HATCH, 36-INCH X 30-INCH, 11 GAUGE ALUMINUM COVER WITH 1-INCH CONCEALED FIBERGLASS INSULATION, 4-INCH BEADED OVERLAPPING FLANGE. FULLY WELDED CORNERS AND INTERNALLY REINFORCED FOR 40 PSF LIVE LOAD. 12-INCH CURB INTEGRAL WITH CAP FLASHING WITH 1-INCH FIBERBOARD INSULATION, FULLY WELDED AT CORNERS, 3-1/2-INCH MOUNTING FLANGE FOR SECURING FRAME TO ROOF DECK. PROVIDE FLUOROPOLYMER PAINT

ROOF DRAIN BASIS-OF-DESIGN: Z125 8 3/8" DIAMETER ROOF DRAIN WITH LOW SILHOUETTE DOME MANUFACTURED BY ZURN INDUSTRIES. SCUPPERS SHALL SERVE AS



FILE ID.

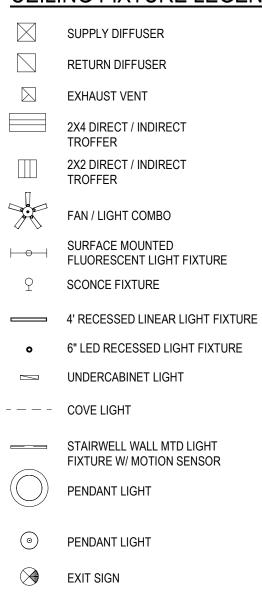


GENERAL NOTES:

- CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED
- 4
- OF ANY CONFLICTS PRIOR TO INSTALLATION.
- 5 ELECTRICAL DRAWINGS FOR LOCATION.
- CENTER OF PANEL, UNLESS OTHERWISE NOTED.
- OCCUR, UNLESS OTHERWISE NOTED.
- 8.
- ROOMS, JANITOR CLOSETS, AND ELECTRICAL ROOMS.
- SPECIFICATIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- (ID-101 OR ID-110).

CEILING FIXTURE LEGEND

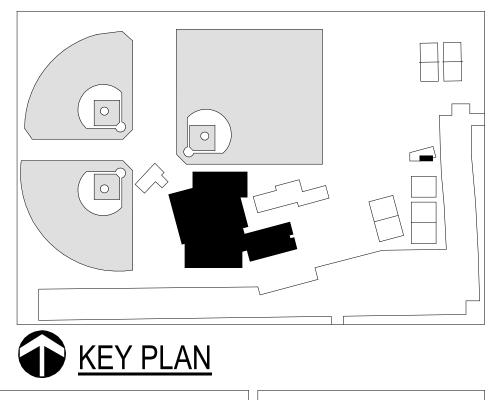


CEILING MATERIAL LEGEND STUCCO SOFFIT, EXTERIOR,

	PAINTED.
$(x - y) = \frac{1}{2} (x - y)$ $(x - y) = \frac{1}$	GYPSUM BOARD CEILING. SEE GENERAL NOTE 3 ON THIS SHE
	MOISTURE RESISTANT GYPSUN BOARD CEILING. SEE GENERAL NOTE 3 ON THIS SHEET.
	2X2 ACOUSTICAL PANEL CEILIN TILE WITH CONCEALED T GRID. (APC_) SEE FINISH LEGEND ON SHEET (ID-101 OR ID-110) AND GENERAL NOTE 2 ON THIS SHE
	2X2 ACOUSTICAL PANEL CEILIN TILE. (APC_) SEE FINISH LEGEN ON SHEET (ID-101 OR ID-110) AN GENERAL NOTE 2 ON THIS SHE

MOISTURE RESISTANT (WASHABLE) ACOUSTICAL PANEL TILE. (APC_) SEE FINISH LEGEND ON SHEET (ID101 OR ID-110) AND GENERAL NOTE 2 ON THIS SHEET. EXPOSED DECK PAINTED (P-_) TYPE:

SEE FINISH LEGEND ON SHEET (ID-101 OR ID-110). BLANK DENOTES OPEN TO UNDERSIDE OF STRUCTURAL DECK



DATE DESCRIPTION BY

CITY OF DELRAY BEACH POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

LEVEL 1 - RCP

1. CEILING HEIGHTS ARE INDICATED FROM THE FINISH FLOOR ELEVATION TO THE FACE OF SUSPENDED

2. TYPICAL 2'X2' TEGULAR ACOUSTICAL CEILING TILE HEIGHT X'-X" EXCEPT WHERE NOTED OTHERWISE. TYPICAL GYPSUM WALL BOARD CEILING HEIGHT X'-X" EXCEPT WHERE NOTED OTHERWISE.

VERIFY LOCATIONS OF ALL LIGHT FIXTURES, AIR SLOTS, AIR SUPPLY AND RETURN GRILLES WITH PLANS AND COORDINATE INSTALLATION WITH MECHANICAL AND ELECTRICAL CONTRACTORS. NOTIFY ARCHITECT

ALIGN EXIT SIGNS WITH THE CENTER OF DOORS UNLESS OTHERWISE NOTED. CENTER CEILING MOUNTED EXIT SIGNS IN CORRIDOR OR CEILING PANEL IN OPEN AREAS UNLESS OTHERWISE NOTED, SEE

6. AT ACOUSTICAL PANEL CEILINGS, LOCATE ELECTRICAL OR LIFE SAFETY FIXTURES AND DEVICES IN

PAINT ALL MECHANICAL SLOTS, GRILLES, OR ACCESS PANELS TO MATCH SURFACE ON WHICH THEY

CONTRACTOR IS TO PROVIDE ALL MISCELLANEOUS MTL STUD FRAMING REQUIRED FOR SOFFITS AND BULKHEADS AS GRAPHICALLY DEPICTED ON THE REFLECTED CEILING PLAN, SECTIONS AND ELEVATIONS. 9. SUPPORT FINISH EDGES OF CEILING WITH EDGE ANGLES ATTACHED TO WALL.

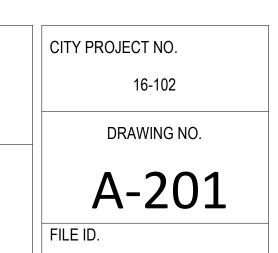
10. PAINT ALL EXPOSED STEEL STRUCTURE AND ALL OTHER EXPOSED SURFACES THAT ARE NOT PREFINISHED OR INTEGRALLY COLORED EXCEPT IN CONCEALED SPACES INCLUDING MECHANICAL

11. PROVIDE CARE AND COORDINATION TO CONCEAL ALL CONDUIT, FIRE PROTECTION PIPING, AND PLUMBING 12. ALL LIGHTING IS DEPICTED TO INDICATE LOCATION ONLY, SEE ELECTRICAL FOR FIXTURE

13. AT ALL EXPOSED METAL DECK LOCATIONS UTILIZE WEDGE BOLT/NET SYSTEM TO HANG ALL SYSTEMS. 14. PROVIDE METAL DECK WITH PRE-FINISHED EXPOSED SURFACES. PROVIDE ACOUSTICAL METAL DECK WHERE EXPOSED TO OCCUPIED SPACES WITHIN BUILDING. SEE STRUCTURAL DWGS TYP.

15. CONTROL JOINTS SHALL BE INSTALLED IN CEILING TO DELINEATE AREAS NO MORE THANK 110 SQ. FT. 16. AT EXPOSED ACOUSTICAL DECK CEILINGS, CONCEAL ALL CONDUIT ABOVE DECK.

17. PAINT ALL GYPSUM CEILINGS, P-, UNLESS NOTED OTHERWISE. REFERENCE FINISH LEGEND ON SHEET

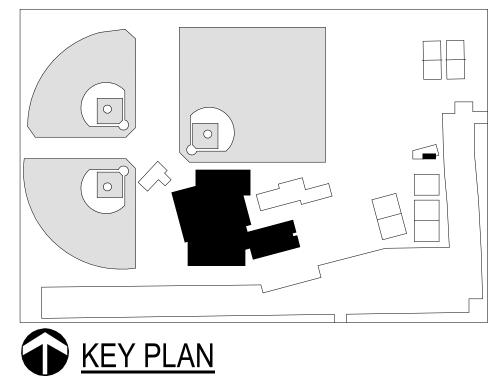




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	[GENE	ERAL NOTES:
		SPECIFIC KEYNOTI	ES - RCP		CEILING HEIGHTS ARE INDICATED
	Keynote Number	Keynot	e Text]	CEILING SYSTEM OR FACE OF FINI TYPICAL 2'X2' TEGULAR ACOUSTIC
		ADJUSTABLE CEILING MOUNTED BASKE ELECTRONIC WINCHES			TYPICAL GYPSUM WALL BOARD C
	A25	DRAPER ROLL-UP GYM DIVIDER CURTAI 14 INCH CEILING BAFFLES SPACED AT 4 POLYCARBONATE PANELS AND LED CO STAINLESS COMMERCIAL HOOD	FEET O.C. WITH 4 FOOT		VERIFY LOCATIONS OF ALL LIGHT AND COORDINATE INSTALLATION \ OF ANY CONFLICTS PRIOR TO INS [*]
					ALIGN EXIT SIGNS WITH THE CENT EXIT SIGNS IN CORRIDOR OR CEIL ELECTRICAL DRAWINGS FOR LOCA
					AT ACOUSTICAL PANEL CEILINGS, CENTER OF PANEL, UNLESS OTHE
					PAINT ALL MECHANICAL SLOTS, G OCCUR, UNLESS OTHERWISE NOT
					CONTRACTOR IS TO PROVIDE ALL BULKHEADS AS GRAPHICALLY DEF
				9.	SUPPORT FINISH EDGES OF CEILI
					PAINT ALL EXPOSED STEEL STRUC PREFINISHED OR INTEGRALLY CO ROOMS, JANITOR CLOSETS, AND E
					PROVIDE CARE AND COORDINATIO
					ALL LIGHTING IS DEPICTED TO IND SPECIFICATIONS, NOTIFY ARCHITE
				13.	AT ALL EXPOSED METAL DECK LO
					PROVIDE METAL DECK WITH PRE-I WHERE EXPOSED TO OCCUPIED S
					CONTROL JOINTS SHALL BE INST
				17.	AT EXPOSED ACOUSTICAL DECK C PAINT ALL GYPSUM CEILINGS, P (ID-101 OR ID-110).
				CE	EILING FIXTURE LE
				\square	SUPPLY DIFFUSER
					ч -
		\ \		ПТ	TROFFER 2X2 DIRECT / INDIRECT
(10.5)	(11)			TROFFER
				Fo P	SURFACE MOUNTED FLUORESCENT LIGHT FIXTU
					→ 4' RECESSED LINEAR LIGHT
		0		٥	
O O					 □ UNDERCABINET LIGHT − COVE LIGHT
		•			STAIRWELL WALL MTD LIGH
		•			FIXTURE W/ MOTION SENSO
	T			$(\bigcirc$) PENDANT LIGHT
A31 0 14'					EXIT SIGN
KITCHEN/ CONCESSION	POSE	•		an a	ING MATERIAL LE
		o			PAINTED. GYPSUM BOARD CEILING. SEE
A25					GENERAL NOTE 3 ON THIS SHE
STORAGE				· · · ·	BOARD CEILING. SEE GENERAL NOTE 3 ON THIS SHEET. 2X2 ACOUSTICAL PANEL CEILIN
	0 2 0	0 0 0			TILE WITH CONCEALED T GRID. (APC_) SEE FINISH LEGEND ON SHEET (ID-101 OR ID-110) AND GENERAL NOTE 2 ON THIS SHE
PR Providence Providen					2X2 ACOUSTICAL PANEL CEILIN TILE. (APC_) SEE FINISH LEGEN ON SHEET (ID-101 OR ID-110) AN GENERAL NOTE 2 ON THIS SHE
					MOISTURE RESISTANT (WASHA ACOUSTICAL PANEL TILE. (APC SEE FINISH LEGEND ON SHEET (ID101 OR ID-110) AND GENERAL NOTE 2 ON THIS SHEET.
					EXPOSED DECK PAINTED (P) TYPE:
					SEE FINISH LEGEND ON SHEET (ID-101 OR ID-110).

BLANK DENOTES OPEN TO UNDERSIDE OF STRUCTURAL DECK



SCHEMATIC DESIGN FINAL DATE BY DESCRIPTION

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LEVEL 2 - RCP

ED FROM THE FINISH FLOOR ELEVATION TO THE FACE OF SUSPENDED FINISH MATERIAL AS SCHEDULED STICAL CEILING TILE HEIGHT X'-X" EXCEPT WHERE NOTED OTHERWISE.

D CEILING HEIGHT X'-X" EXCEPT WHERE NOTED OTHERWISE. GHT FIXTURES, AIR SLOTS, AIR SUPPLY AND RETURN GRILLES WITH PLANS

ION WITH MECHANICAL AND ELECTRICAL CONTRACTORS. NOTIFY ARCHITECT INSTALLATION. ENTER OF DOORS UNLESS OTHERWISE NOTED. CENTER CEILING MOUNTED

CEILING PANEL IN OPEN AREAS UNLESS OTHERWISE NOTED, SEE LOCATION. IGS, LOCATE ELECTRICAL OR LIFE SAFETY FIXTURES AND DEVICES IN THERWISE NOTED.

, GRILLES, OR ACCESS PANELS TO MATCH SURFACE ON WHICH THEY IOTED.

LL MISCELLANEOUS MTL STUD FRAMING REQUIRED FOR SOFFITS AND DEPICTED ON THE REFLECTED CEILING PLAN, SECTIONS AND ELEVATIONS. EILING WITH EDGE ANGLES ATTACHED TO WALL.

RUCTURE AND ALL OTHER EXPOSED SURFACES THAT ARE NOT COLORED EXCEPT IN CONCEALED SPACES INCLUDING MECHANICAL ND ELECTRICAL ROOMS.

IATION TO CONCEAL ALL CONDUIT, FIRE PROTECTION PIPING, AND PLUMBING INDICATE LOCATION ONLY, SEE ELECTRICAL FOR FIXTURE HITECT OF ANY DISCREPANCIES.

K LOCATIONS UTILIZE WEDGE BOLT/NET SYSTEM TO HANG ALL SYSTEMS. PRE-FINISHED EXPOSED SURFACES. PROVIDE ACOUSTICAL METAL DECK IED SPACES WITHIN BUILDING. SEE STRUCTURAL DWGS TYP. STALLED IN CEILING TO DELINEATE AREAS NO MORE THANK 110 SQ. FT. CK CEILINGS, CONCEAL ALL CONDUIT ABOVE DECK.

S, P-_, UNLESS NOTED OTHERWISE. REFERENCE FINISH LEGEND ON SHEET

<u>LEGEND</u>

XTURE

HT FIXTURE FIXTURE

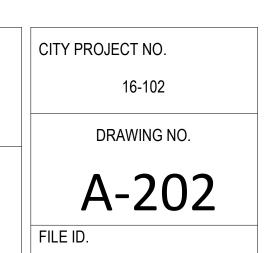
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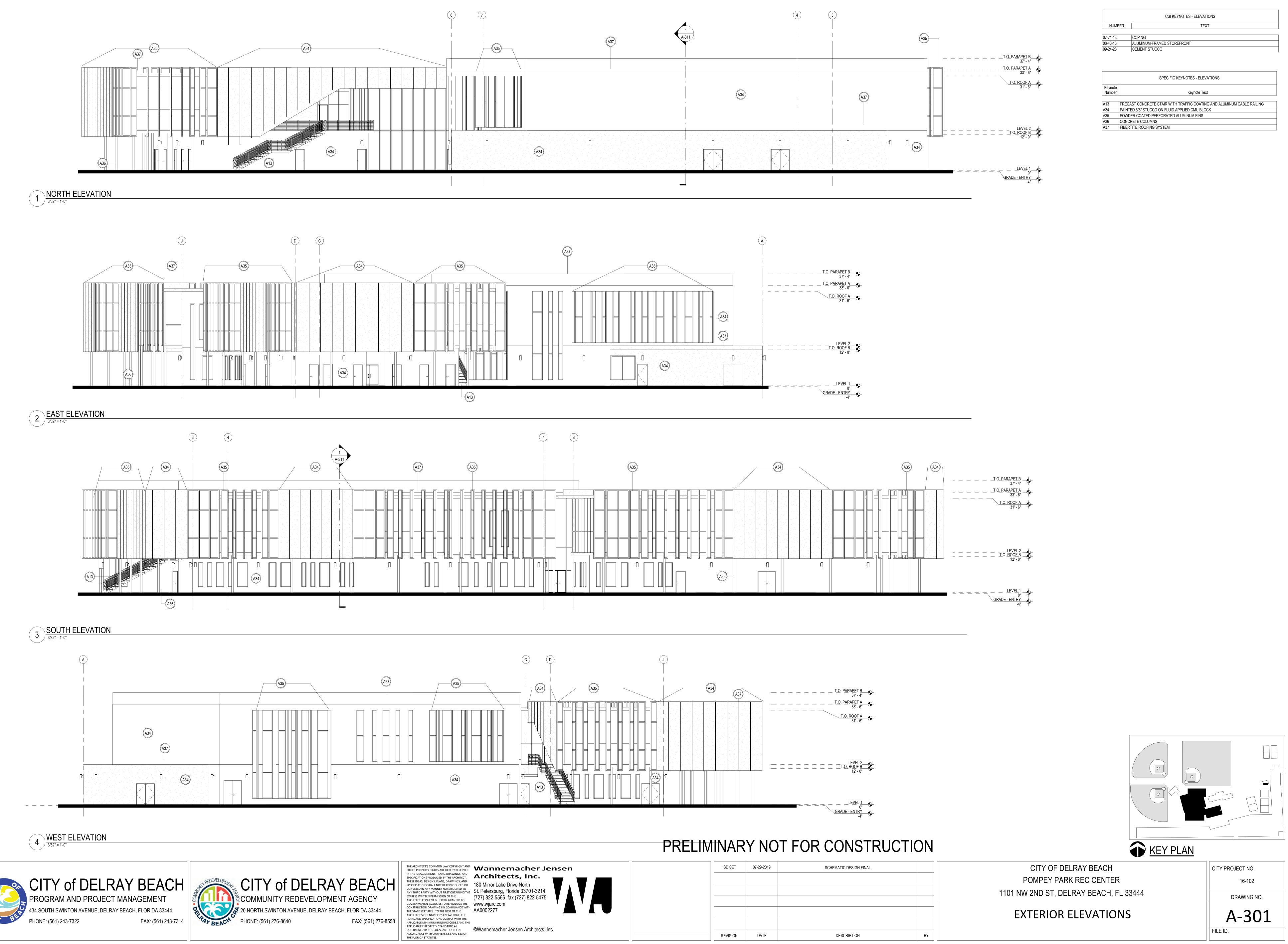
LEGEND

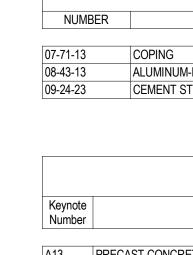
HEET.

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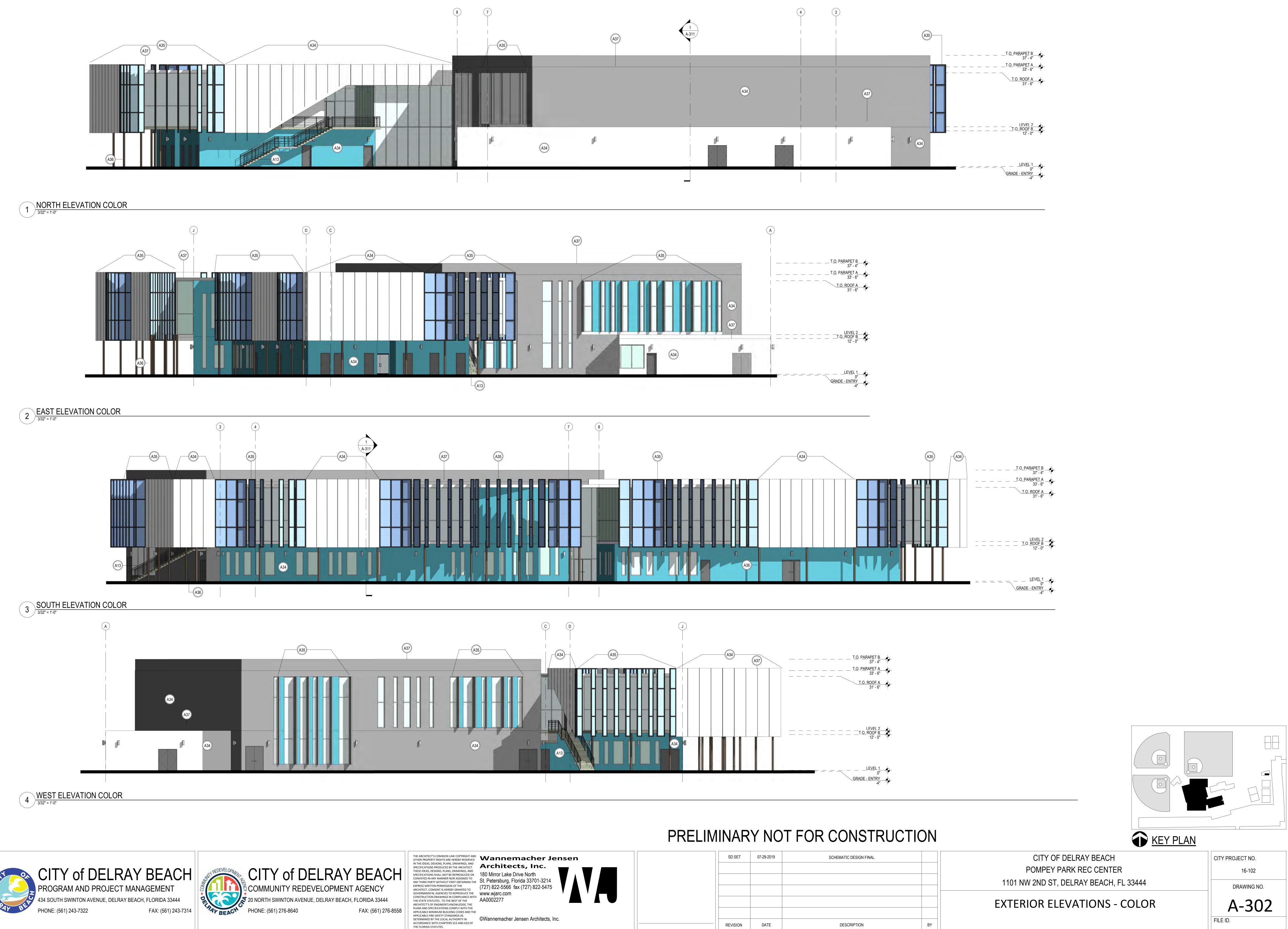


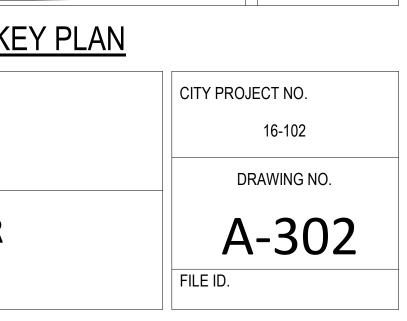




A13	PRECAST CONCRE
A34	PAINTED 5/8" STUC
A35	POWDER COATED
	CONCRETE COLUN
A37	FIBERTITE ROOFIN

CSI KEYNOTES - ELEVATIONS







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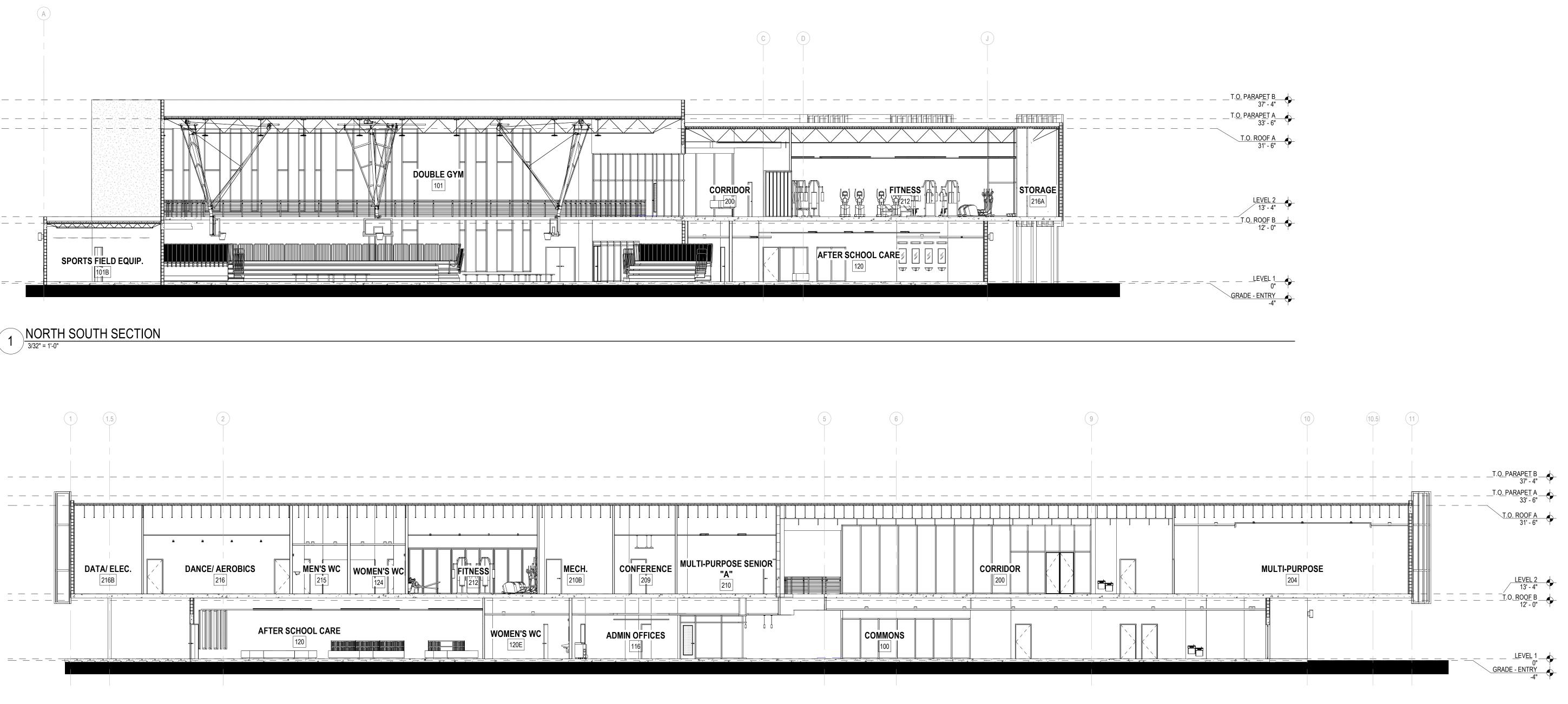


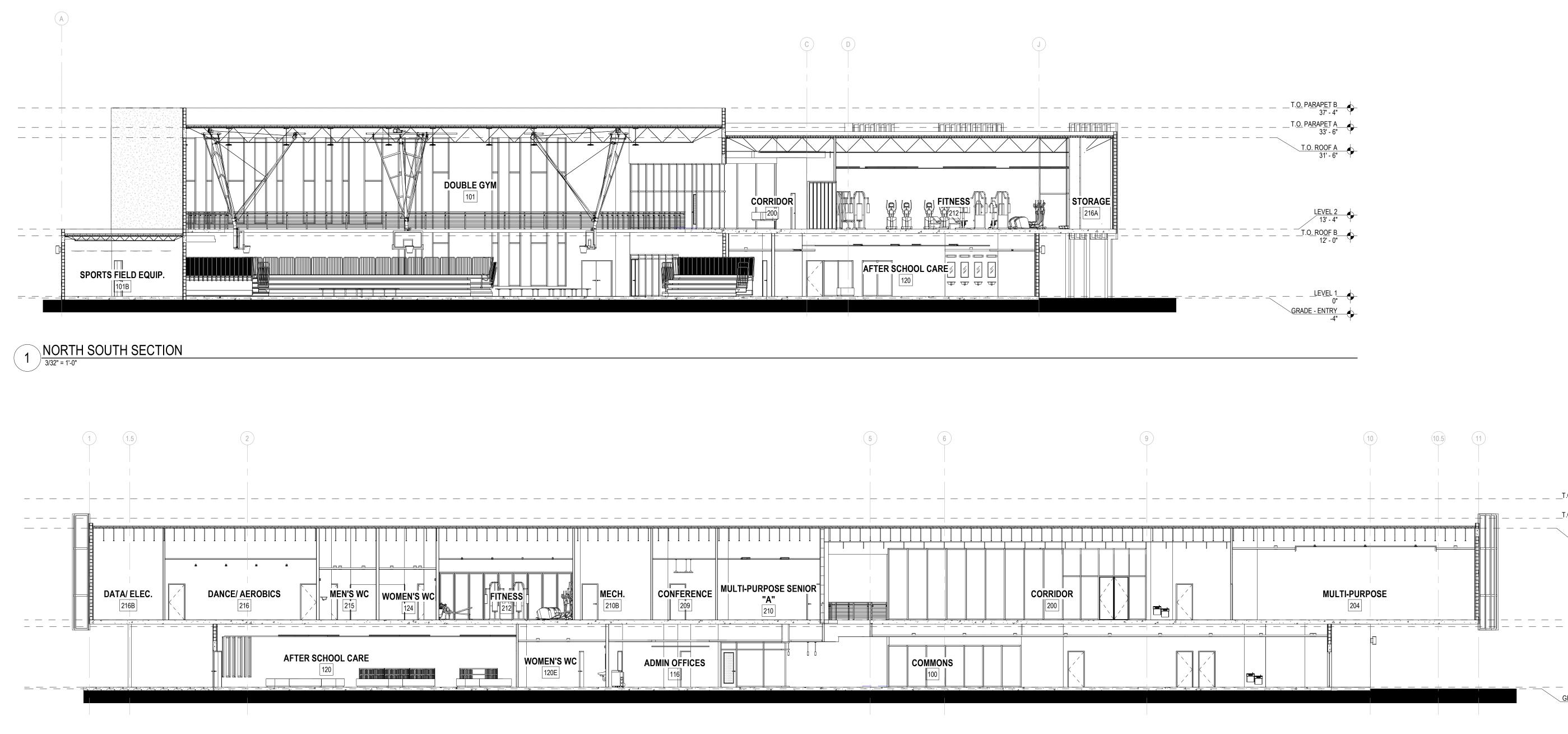


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2 EAST WEST SECTION 3/32" = 1'-0"





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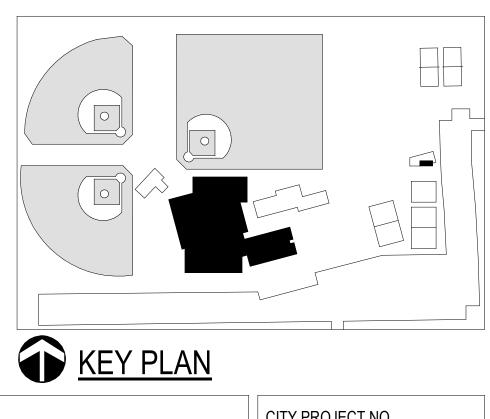
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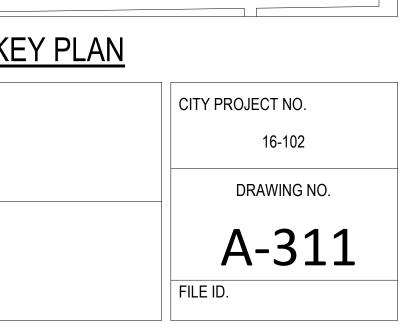
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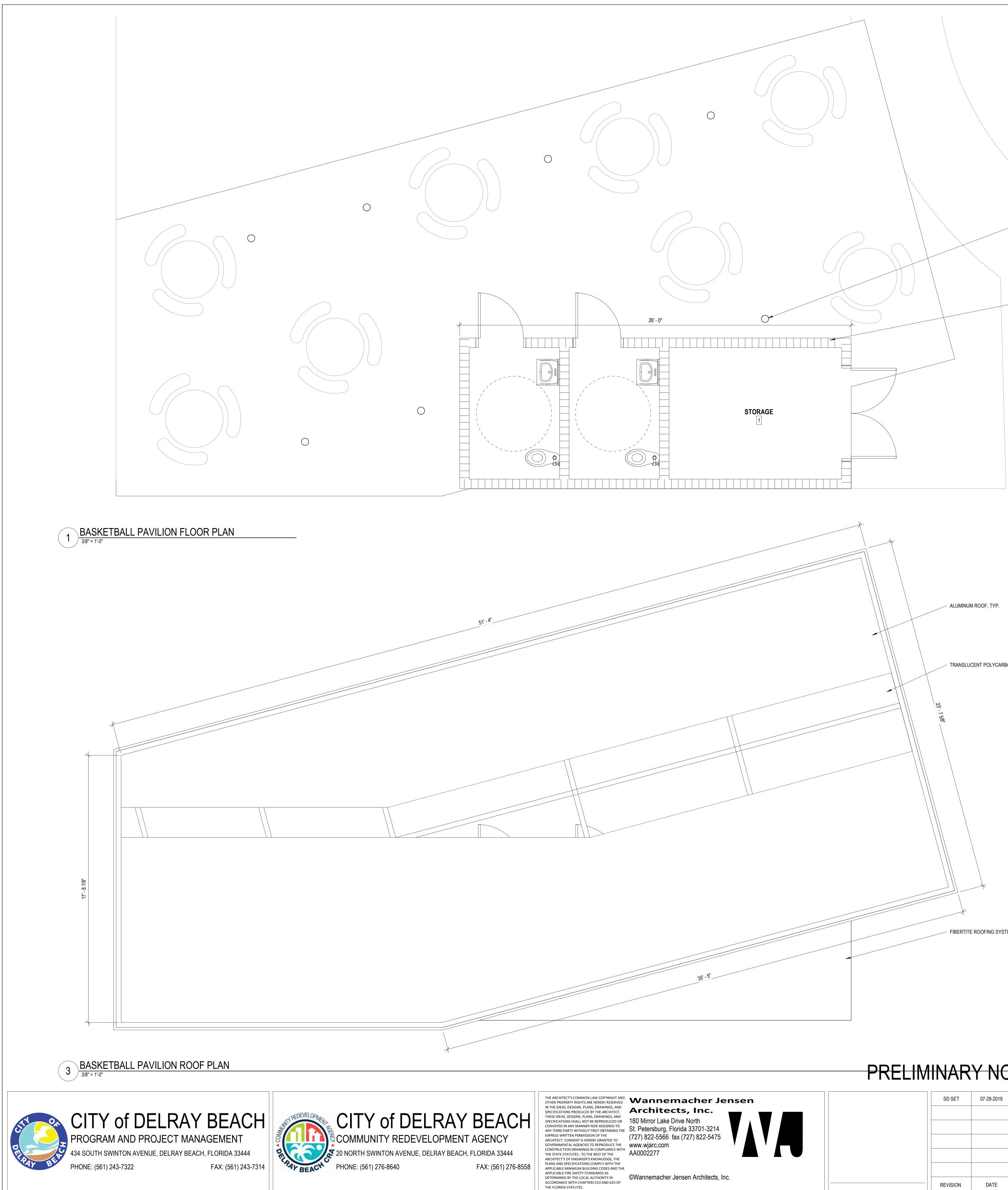
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LEVEL 2 13' - 4"

BUILDING SECTIONS







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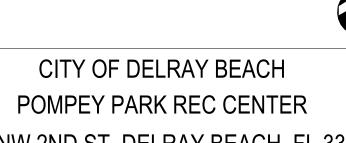
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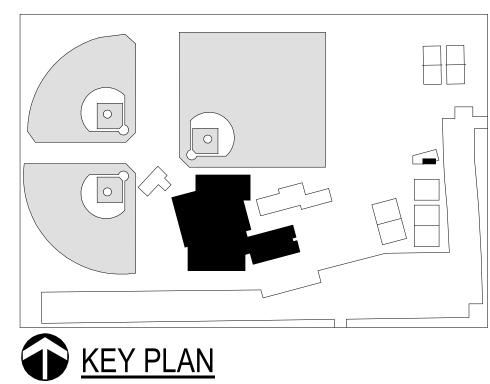
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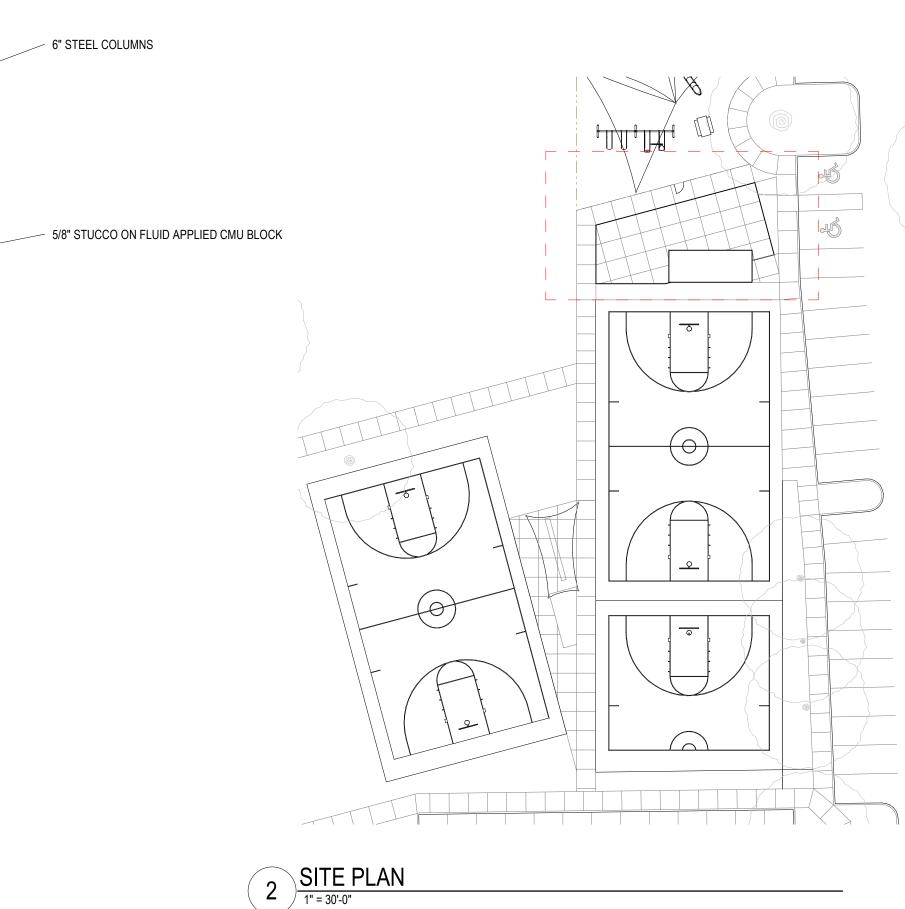
POMPEY PARK REC CENTER 1101 NW 2ND ST, DELRAY BEACH, FL 33444

ENLARGED FLOOR PLANS



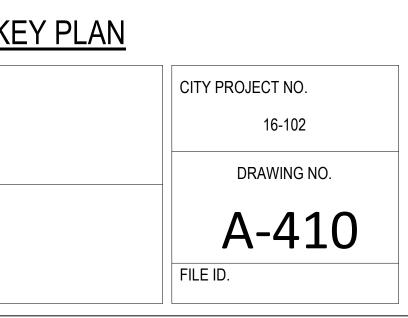


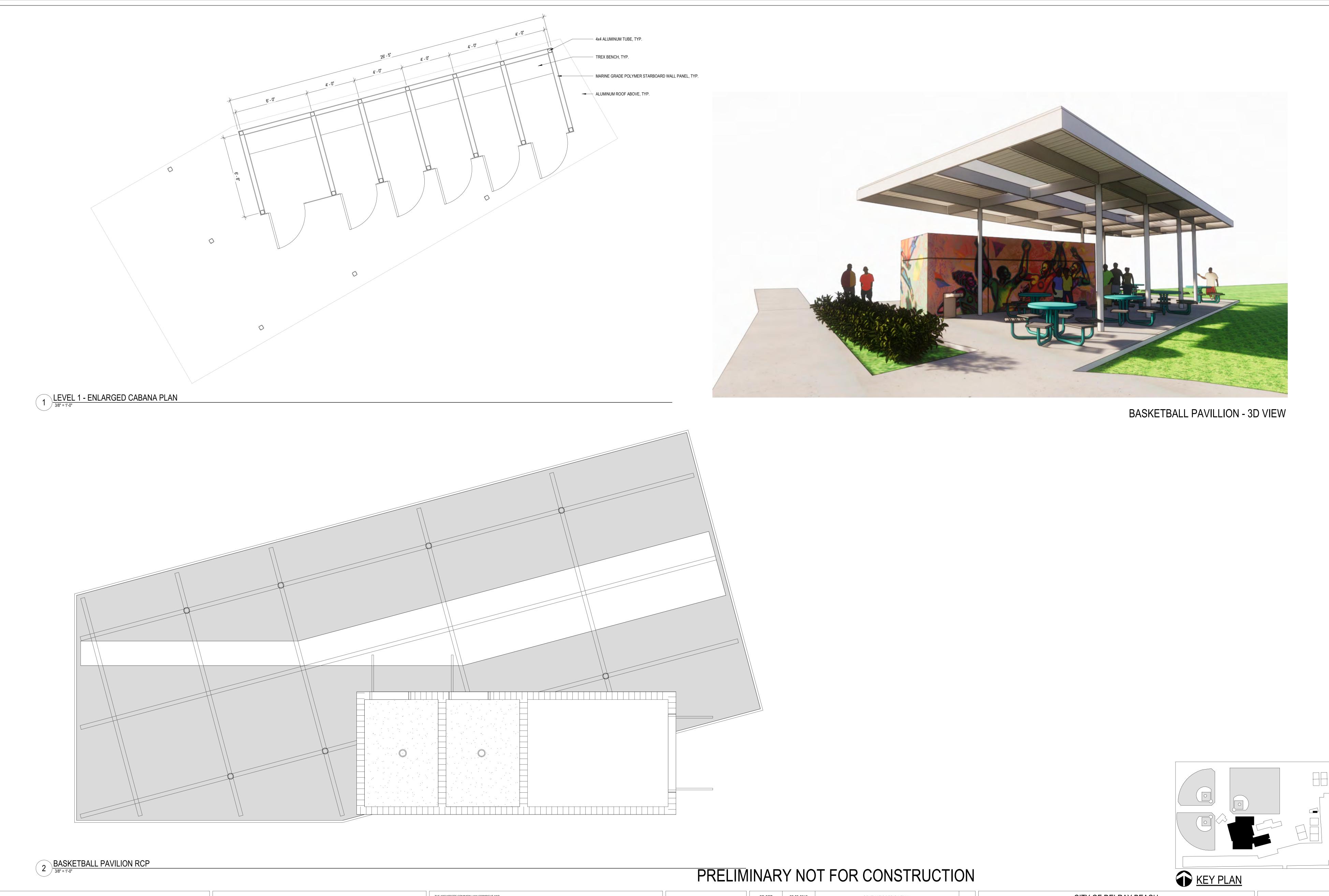




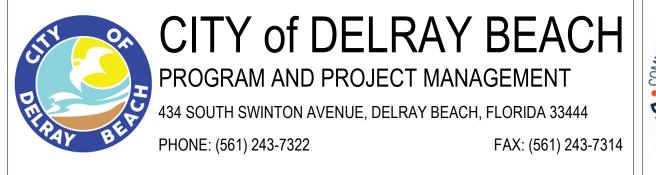
TRANSLUCENT POLYCARBONATE, TYP.

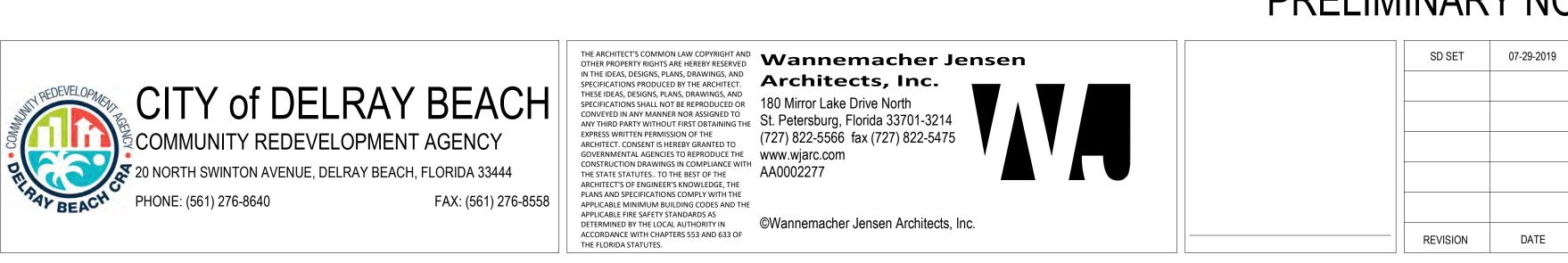
FIBERTITE ROOFING SYSTEM





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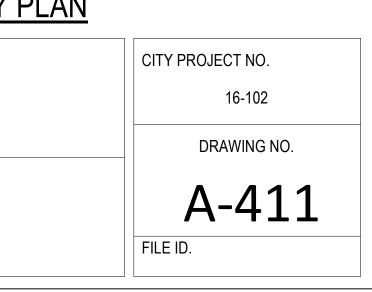
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ENLARGED FLOOR PLANS







2 SOUTH RENDER VIEW



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CITY of DELRAY BEACH COMMUNITY REDEVELOPMENT AGENCY The second secon PHONE: (561) 276-8640





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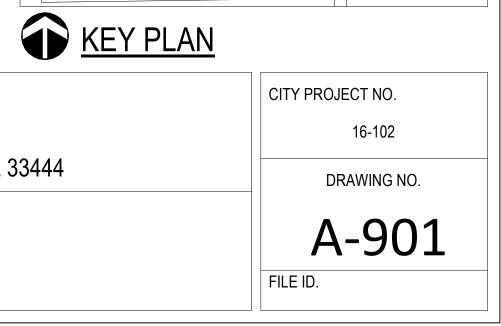


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3D VIEWS



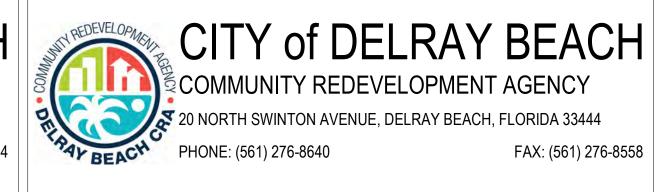




SOUTHEAST RENDER VIEW



2 WEST RENDER VIEW





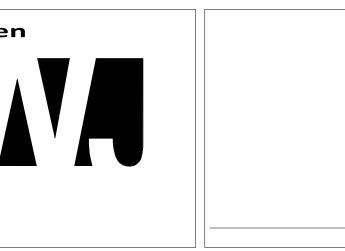
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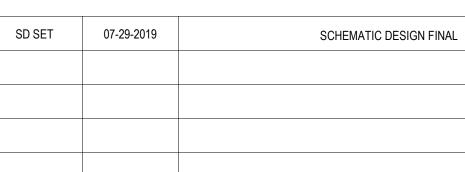
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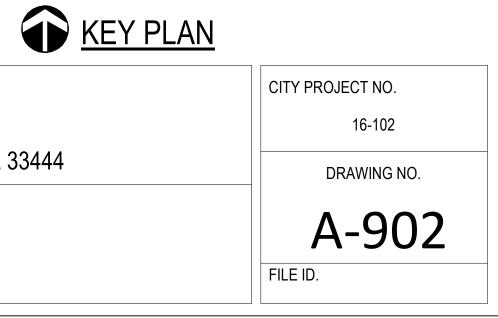


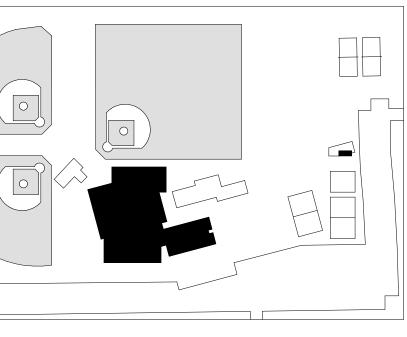
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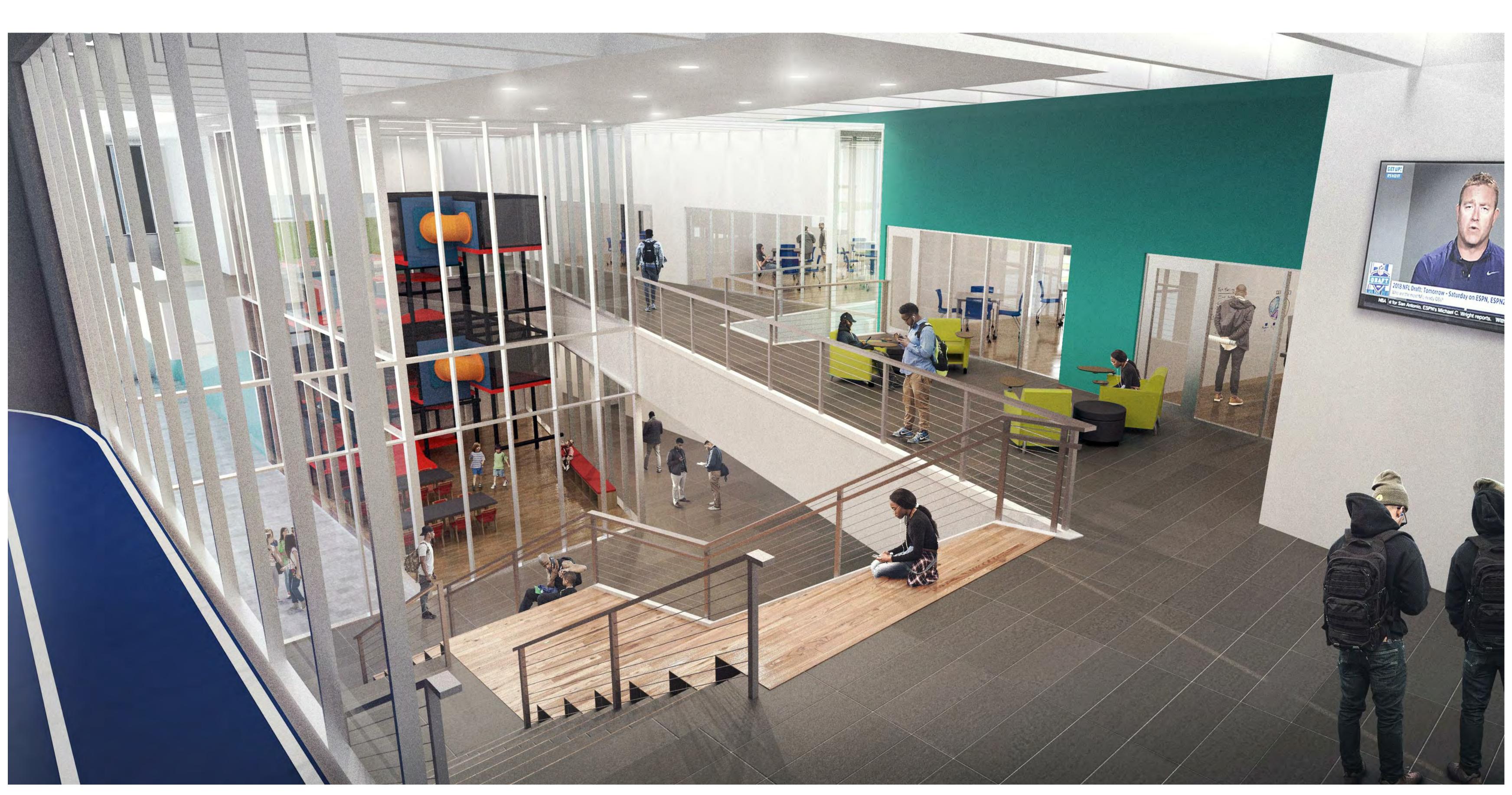
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3D VIEWS







INTERIOR VIEW - MAIN CENTRAL STAIR







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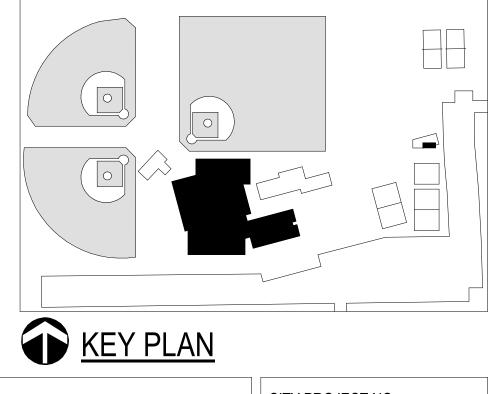


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3D VIEW

